



Project	CMHA Meadows RAD Renovations	Addendum Number	2
Project Number	18076.04	Date	09/12/2025
To	All Bidders		
<i>This addendum contains changes to the requirements of the bidding Documents, Project Manual and Construction Drawings which have been issued to date. Such changes are to be incorporated into the Construction Documents and shall apply to the work in the same meaning and force as if they had been included in the original documents. Wherever this Addendum modifies a portion of a paragraph of the Project Manual or a portion of any Drawing, the remainder of the paragraph or Drawing shall remain in force.</i>			
General	Clarifications: <i>Bid Form: See attached revised bid form showing line item for permit fee included.</i> <i>Do the gas lines in the laundry room need to be removed? Is the furnace the only gas fed item within the unit?</i> Response: Gas lines are stubbed into the laundry area for future use of a gas appliance. No work is to be done on the gas lines in the laundry room as a part of this renovation. <i>How should the curb be addressed where the sidewalk on the accessible route widens?</i> Response: See Civil drawings updates as a part of this Addendum. <i>Do you have the specs or pictures of the new playground equipment, or should it match the existing?</i> Response: The contractor is to include an allowance of \$60,000 in the bid for playground equipment. The final design of the playground and equipment will be provided to the awarded Contractor.		
Specifications	None		
General	Sheet G006 – AREA PLANS – GROSS - REVISED Plan 13 and Area Schedule at Community Center per scope updates. Sheet G007 – AREA PLANS – NET - REVISED Plan 13 and Area Schedule at Community Center per scope updates.		
Civil	Sheet C101 – FINAL SITE COMPLIANCE PLAN - REVISED handicapped ramp and sign callouts. - ADDED hatch for full depth asphalt pavement replacement. - REVISED roof leader note. - ADDED note for additional 100sf of full depth asphalt replacement. - ADDED Coded Note 16. Sheet C102 – FINAL SITE COMPLIANCE PLAN - ADDED hatch for full depth asphalt pavement replacement. - REVISED roof leader note. - ADDED note for additional 100sf of full depth asphalt replacement. - ADDED Coded Note 16.		



Sheet C301 – DETAILS

1. REVISED walk detail to include sawcut at curbline.
2. ADDED full depth pavement section.

Sheet C302 – DETAILS

1. ADDED sheet.

Architectural

Sheet A101 – OVERALL FLOOR PLANS - TYPE I & II

1. ADDED Demolition Note 'Q' to clarify removal of existing carpet in units. Note applies to all Overall Floor Plan sheets (A101 through A103).

Sheet A105 – OVERALL PLAN - COMMUNITY CENTER

1. DELETED Vestibule from scope of work in Plan 1.
2. DELETED interior partition and Storage Room as clouded in Plan 1.
3. REVISED Coded Note #12.
4. REVISED note 'G' in 'General Notes - Demolition'.
5. ADDED note 'K' in 'General Notes - Demolition'.
6. REVISED 'Elevation Legend' & 'General Notes- Exterior Elevations' to not overlap.

Sheet A701 – DOOR & WINDOW SCHEDULES

1. ADDED note 'I' in 'General Notes - Door Schedule'.
2. ADDED remark for Door 'B' in 'Typical Residential Door Schedule'.

Sheet A810 – ENLARGED PLANS - UNIT TYPE 2-A, 2-B (ANSI-A) & 3-A

1. ADDED note 'Q' in 'General Notes - Demolition' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).
2. REVISED notes 'G' and 'PP' in 'General Notes - Unit Plans' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).
3. REVISED note #3 in 'Coded Notes - Unit Plans' notes. Note applies to all Enlarged Unit Plan sheets (A810 through A811).

Sheet A900 – FINISH LEGEND & FF&E

1. DELETED finish scope in Vestibule.
2. DELETED (1) D1R Desk in Open Office.
3. ADDED (1) T1 Table.
4. ADDED (2) C2 Side chairs – total of 6.
5. ADDED (1) D2L Desk.
6. DELETED finishes designated for Storage area adjacent to Open Office. Finishes reflected in Open Office.
7. RELOCATED Tackboard and Markerboard locations.

MEP

Sheet H103 – COMMUNITY CENTER MECHANICAL PLANS

1. Wall was removed, no ductwork rework, removed ductwork.



Sheet H201 – ENLARGED UNITS HVAC PLANS

1. ADDED WB-1 washer box replacement in Unit 2-A first floor, Unit 2-B first floor, and Unit 3-A second floor.
2. ADDED Coded Note #15.

Sheet H202 – ENLARGED UNITS HVAC PLANS

1. ADDED WB-1 washer box replacement in Unit 3-B second floor and Unit 4-A second floor.
2. ADDED Coded Note #14.

Sheet H900 – HVAC SCHEDULES AND DETAILS

1. ADDED WB-1 washer box to 'Plumbing Fixture Schedule'.
2. REVISED expansion tank note on the 'EWH-1: Electric Water Heater Diagram'.

Sheet E100 – ELECTRICAL SITE PLAN

1. REVISED connections to heaters from hardwire to receptacle.
2. ADDED new conduit pathway for data connection to fire alarm control panel in community building.
3. ADDED duct bank detail.

Sheet E103 – COMMUNITY CENTER ELECTRICAL PLANS

1. ADDED fire alarm control panel.
2. REVISED lighting control for reconfigured room.

Attachments

Drawings-

General: G006, G007

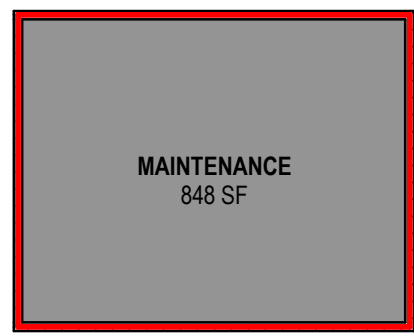
Civil: C101, C102, C301, C302

Architectural: A101, A105, A701, A810, A900

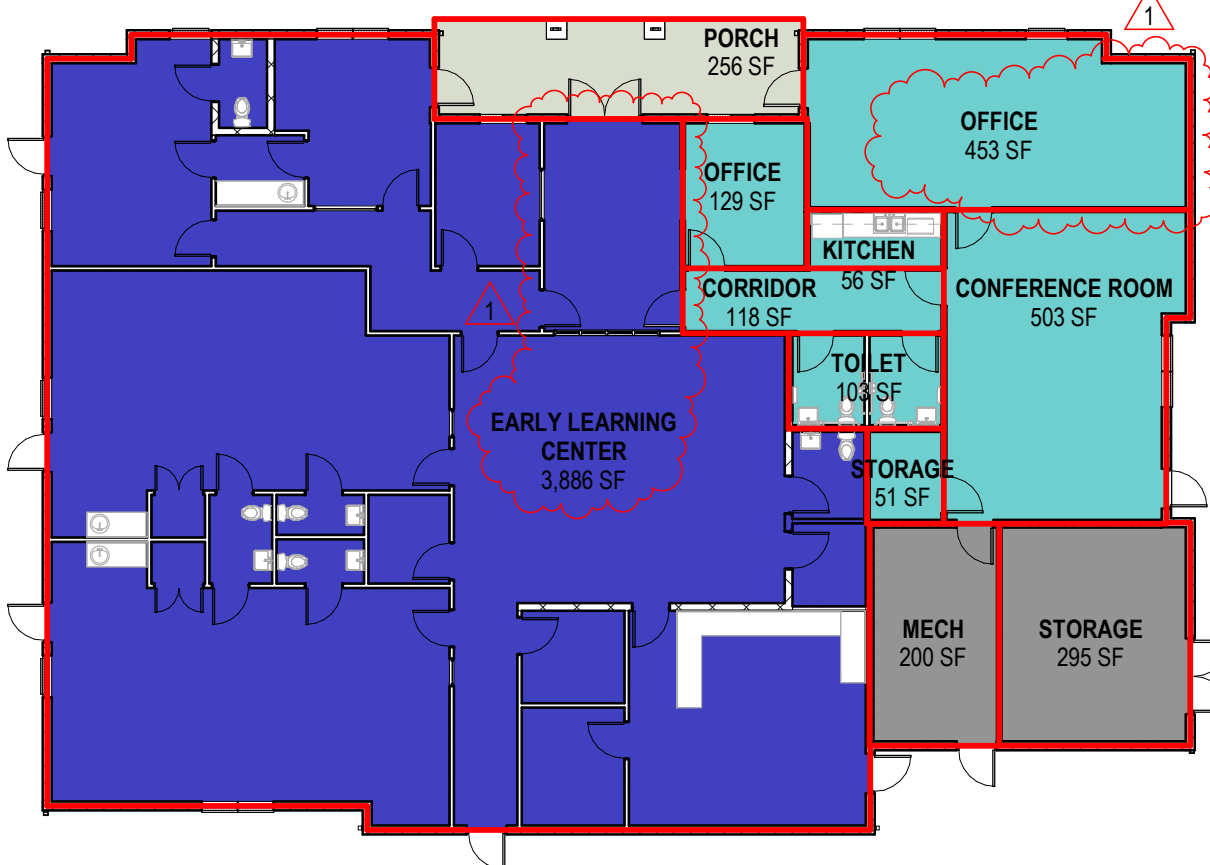
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Other-

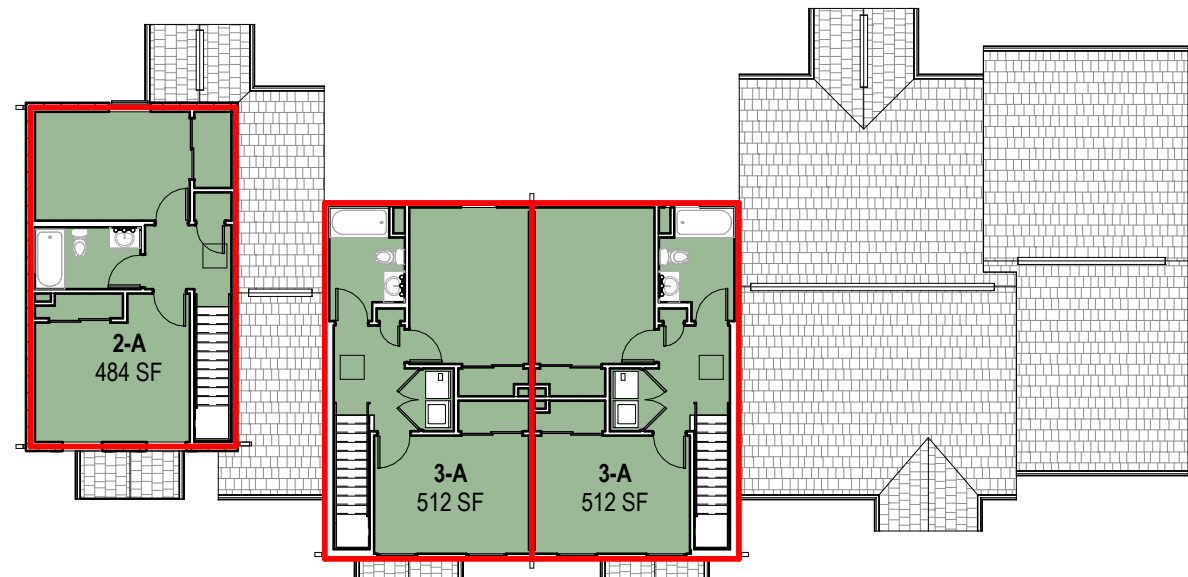
Bid Form



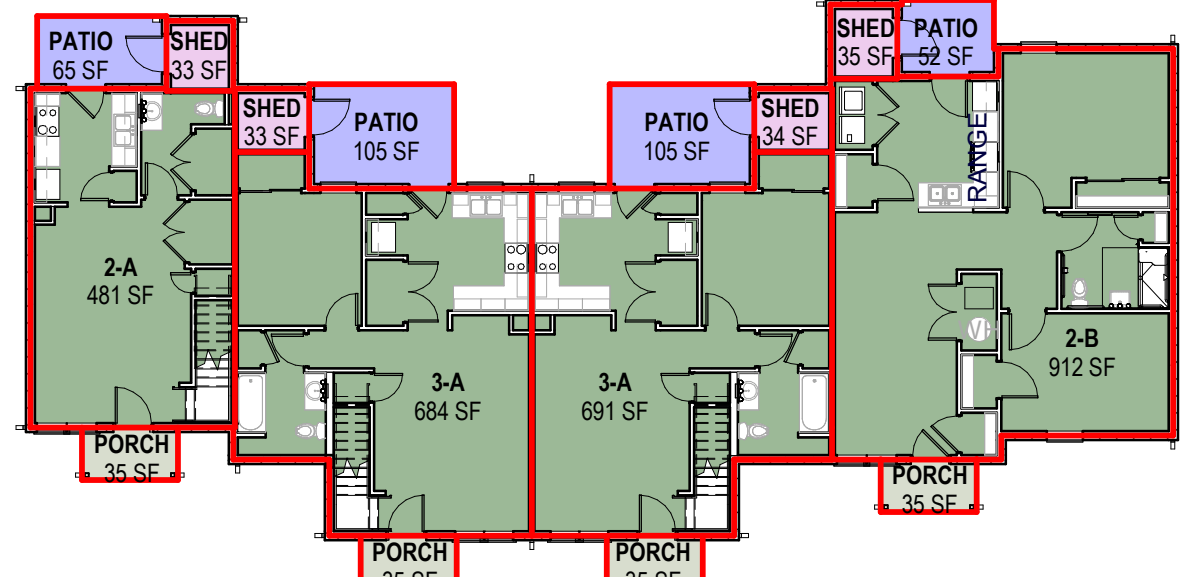
14 PLAN MAINTENANCE BUILDING - GROSS AREA
1/16" = 1'-0"



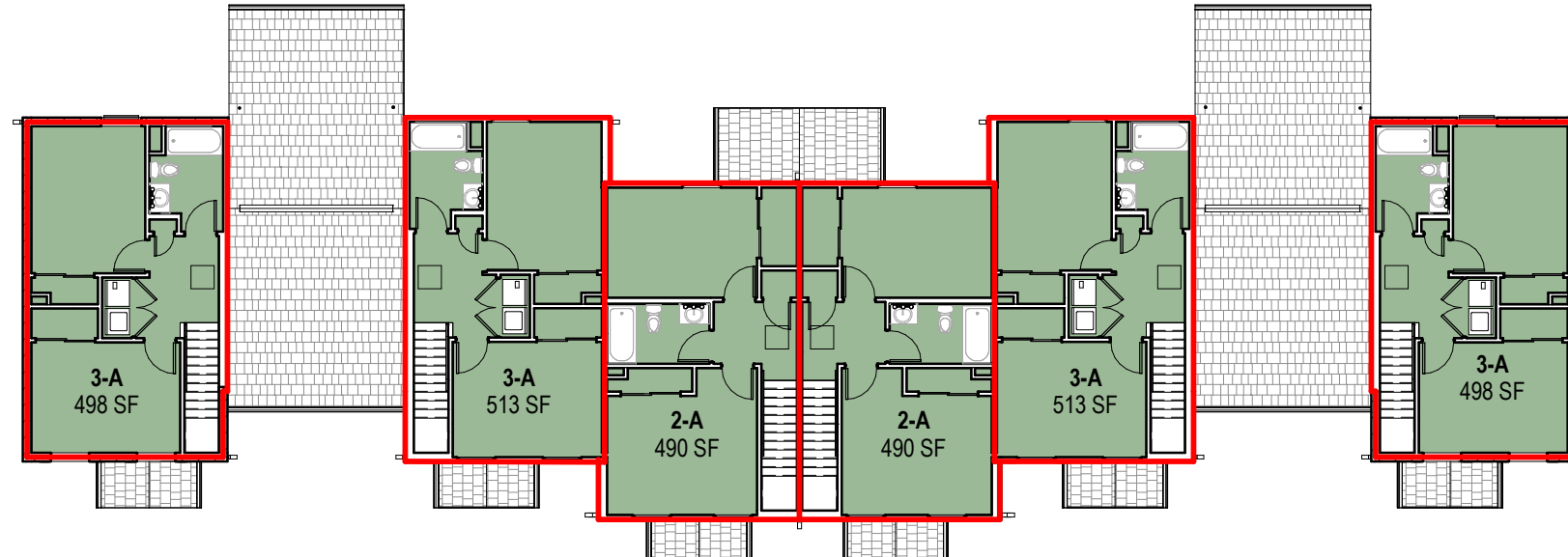
13 PLAN COMMUNITY CENTER - GROSS AREA
1/16" = 1'-0"



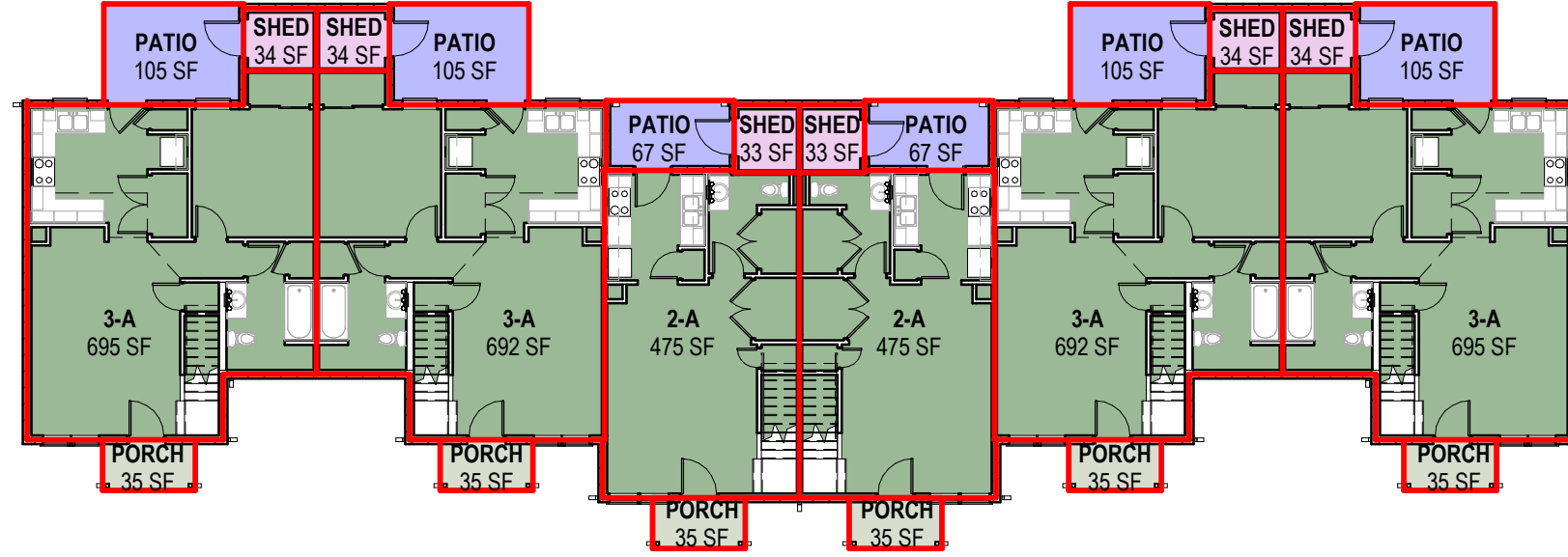
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1/16" = 1'-0"



11 PLAN BUILDING TYPE VI - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"

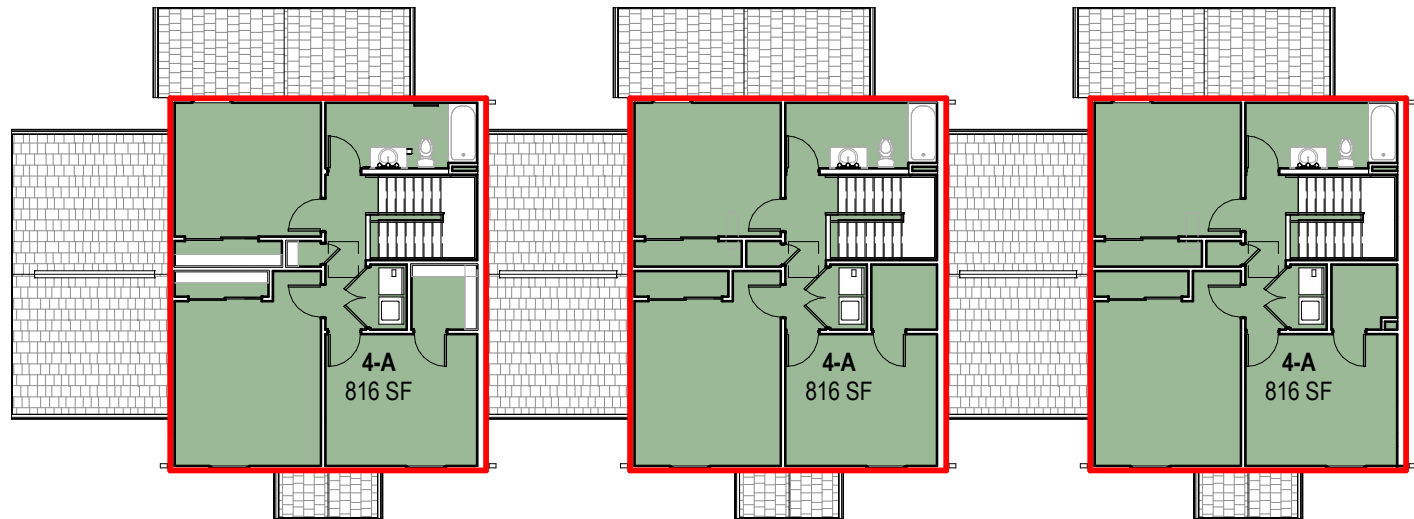


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1/16" = 1'-0"

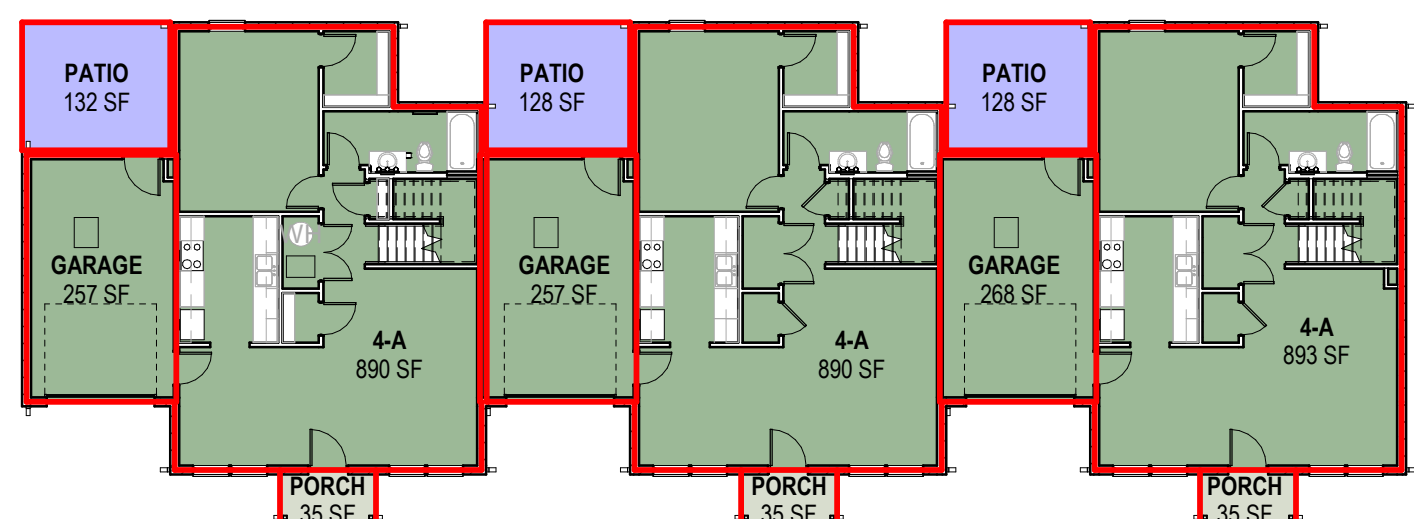


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1/16" = 1'-0"

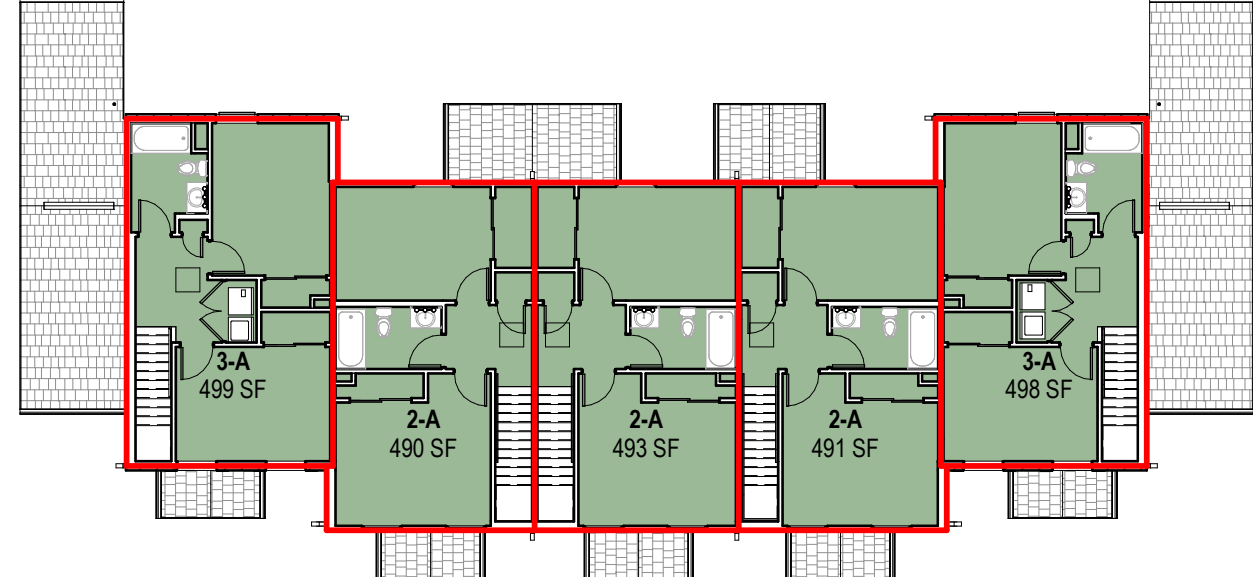
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- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT



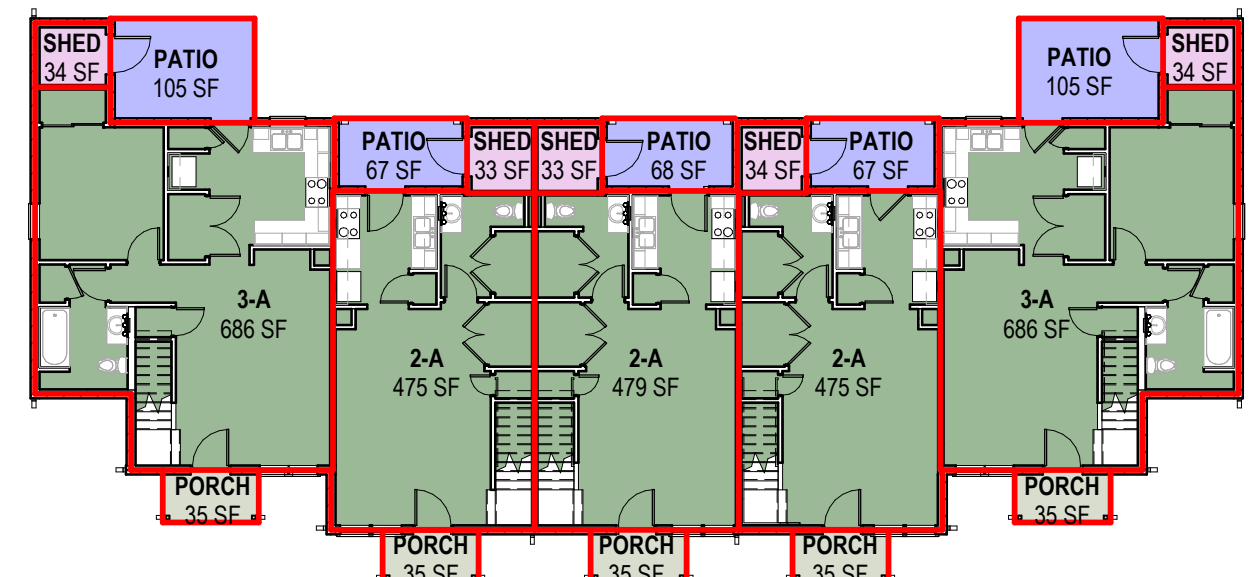
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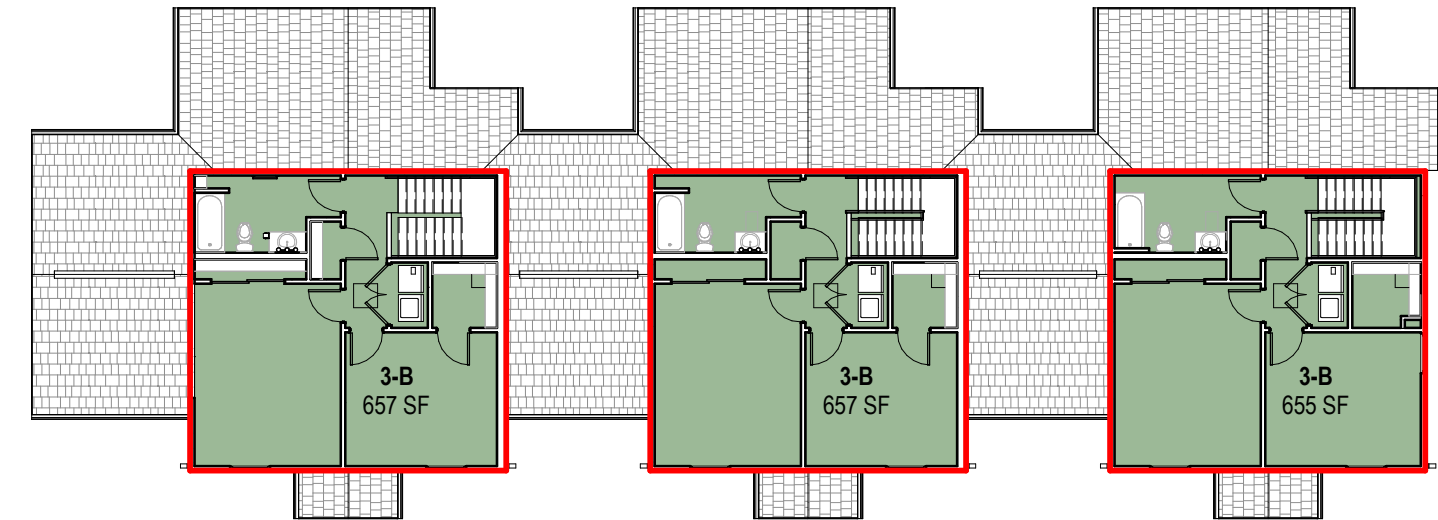
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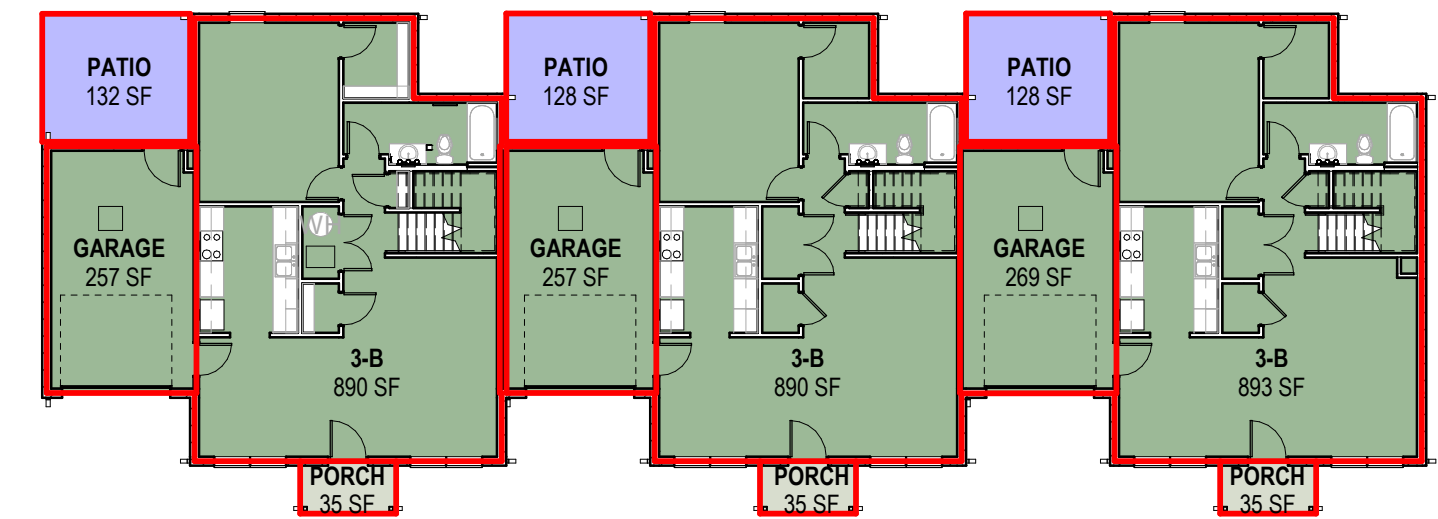
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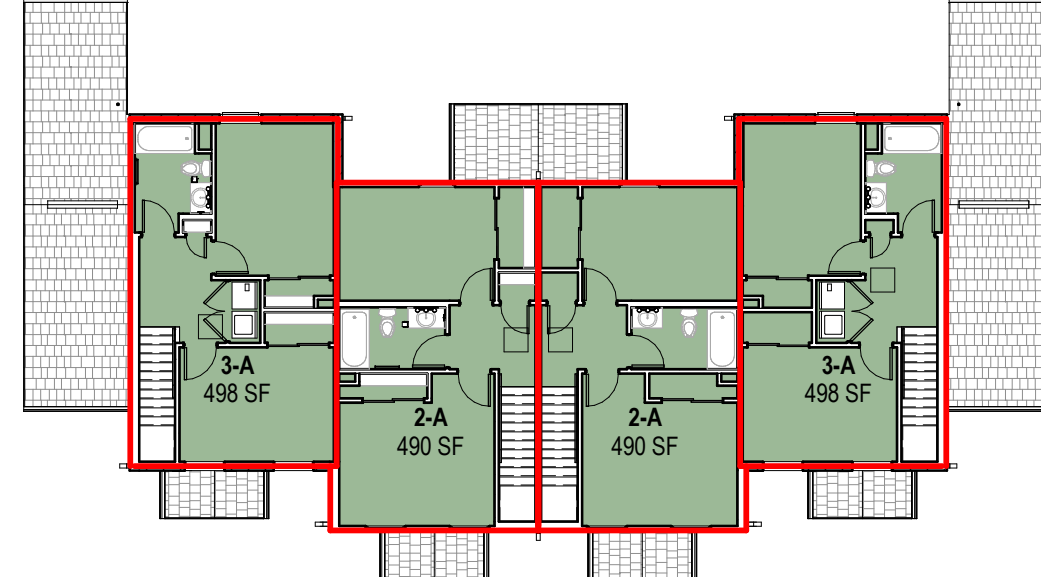
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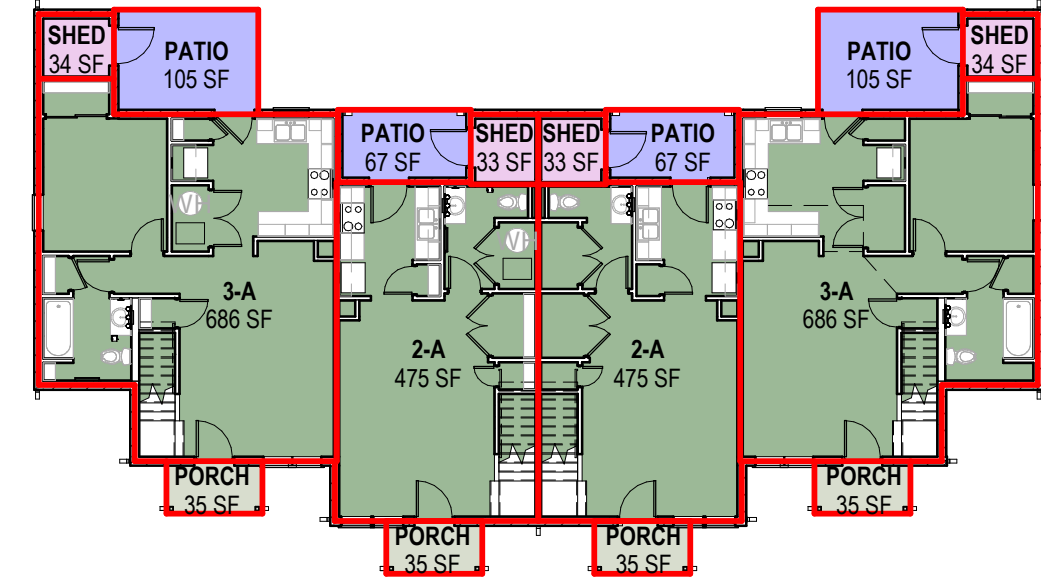
8 PLAN BUILDING TYPE IV - SECOND FLOOR - GROSS AREA
1/16" = 1'-0"



7 PLAN BUILDING TYPE IV - FIRST FLOOR - GROSS AREA
1/16" = 1'-0"



2 PLAN BUILDING TYPE I - SECOND FLOOR GROSS AREA
1/16" = 1'-0"



1 PLAN BUILDING TYPE I - FIRST FLOOR GROSS AREA
1/16" = 1'-0"

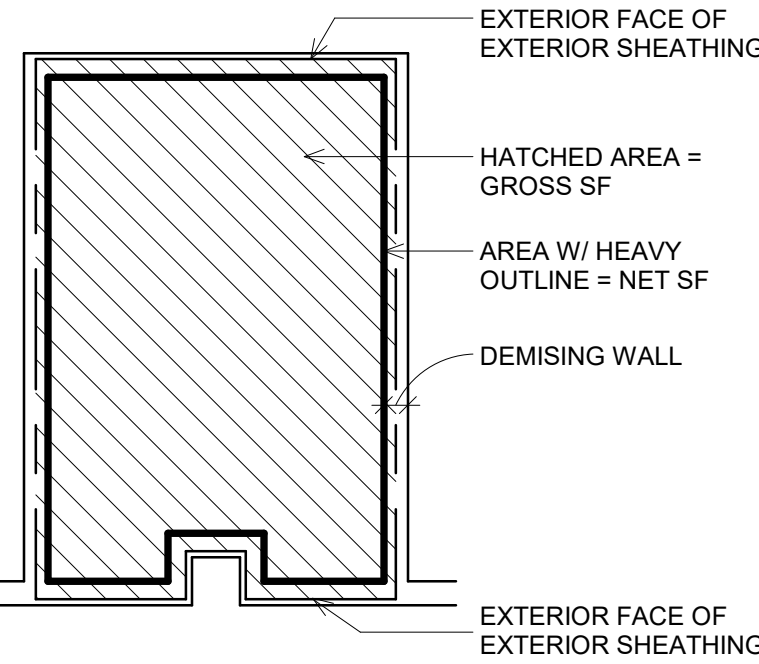
GENERAL NOTES - AREA PLANS

- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

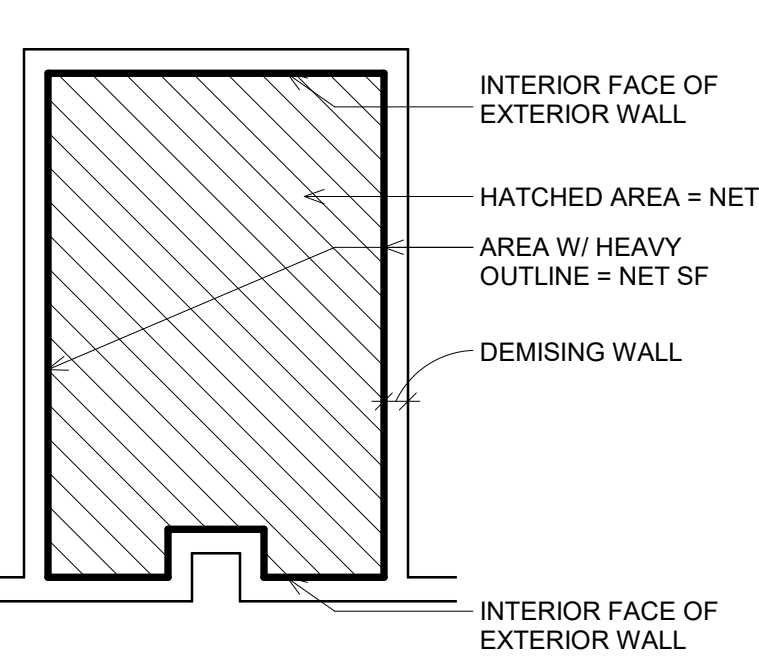
AREA SCHEDULE (DEPARTMENT GROSS)				
DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
BUILDING TYPE I				
PATIO	PATIO	344 SF	7	2,408 SF
PORCH	PORCH	140 SF	7	980 SF
RESIDENTIAL	2-A	1,930 SF	7	13,510 SF
RESIDENTIAL	3-A	2,367 SF	7	16,569 SF
STORAGE	SHED	133 SF	7	931 SF
BUILDING TYPE II				
PATIO	PATIO	412 SF	1	412 SF
PORCH	PORCH	175 SF	1	175 SF
RESIDENTIAL	2-A	2,903 SF	1	2,903 SF
RESIDENTIAL	3-A	2,369 SF	1	2,369 SF
STORAGE	SHED	167 SF	1	167 SF
BUILDING TYPE III				
PATIO	PATIO	553 SF	4	2,212 SF
PORCH	PORCH	210 SF	4	840 SF
RESIDENTIAL	2-A	1,930 SF	4	7,720 SF
RESIDENTIAL	3-A	4,796 SF	4	19,184 SF
STORAGE	SHED	201 SF	4	804 SF
BUILDING TYPE IV				
PATIO	PATIO	388 SF	4	1,552 SF
PORCH	PORCH	105 SF	4	420 SF
RESIDENTIAL	3-B	4,641 SF	4	18,564 SF
RESIDENTIAL	GARAGE	782 SF	4	3,128 SF
BUILDING TYPE V				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	105 SF	2	210 SF
RESIDENTIAL	4-A	5,121 SF	2	10,242 SF
RESIDENTIAL	GARAGE	782 SF	2	1,564 SF
BUILDING TYPE VI				
PATIO	PATIO	327 SF	5	1,635 SF
PORCH	PORCH	140 SF	5	700 SF
RESIDENTIAL	2-A	965 SF	5	4,825 SF
RESIDENTIAL	2-B	912 SF	5	4,560 SF
RESIDENTIAL	3-A	2,399 SF	5	11,995 SF
STORAGE	SHED	134 SF	5	670 SF
COMMUNITY CTR				
C.A. PUBLIC	CONFERENCE ROOM	503 SF	1	503 SF
C.A. PUBLIC	CORRIDOR	118 SF	1	118 SF
C.A. PUBLIC	KITCHEN	56 SF	1	56 SF
C.A. PUBLIC	OFFICE	583 SF	1	583 SF
C.A. PUBLIC	STORAGE	51 SF	1	51 SF
C.A. PUBLIC	TOILET	103 SF	1	103 SF
PORCH	PORCH	256 SF	1	256 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,886 SF	1	3,886 SF
SUPPORT	MECH	200 SF	1	200 SF
SUPPORT	STORAGE	295 SF	1	295 SF
MAINTENANCE BUILDING				
SUPPORT	MAINTENANCE	848 SF	1	848 SF
TOTAL		42,716 SF		138,923 SF

UNIT SQUARE FOOTAGE DIAGRAM

GROSS AREA



NET AREA



#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
SUITE 300
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PHONE: (614) 461-4664
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Moody Nolan CERTIFICATE NO: FIRM 00197475

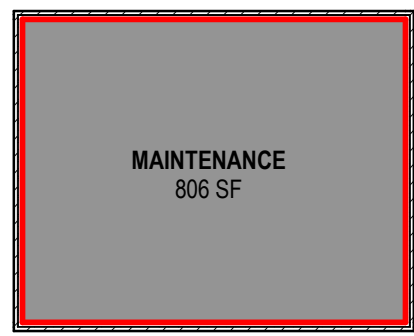
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JAY W BOONE, LIC. #10740
EXP. DATE: 12/31/2025

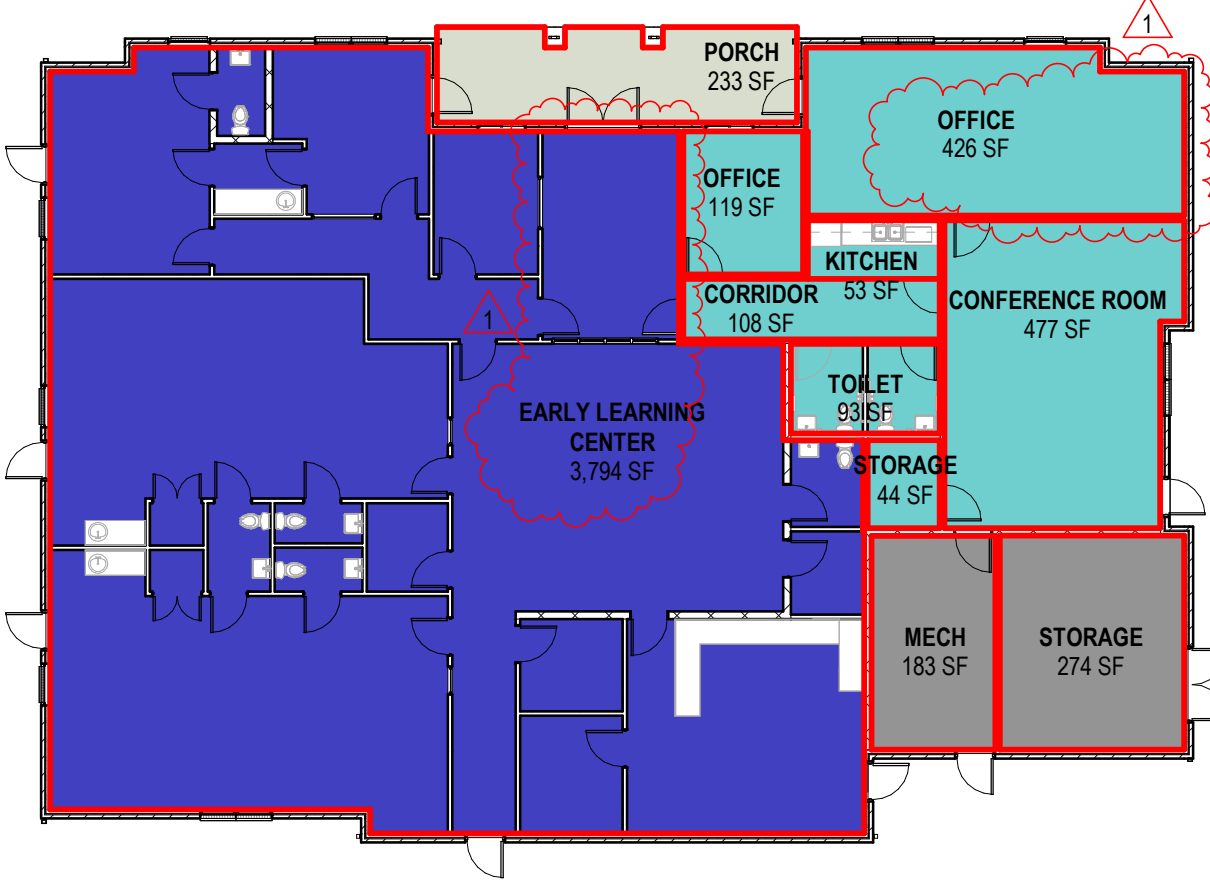
14 PLAN

MAINTENANCE BUILDING - NET AREA
1/16" = 1'-0"



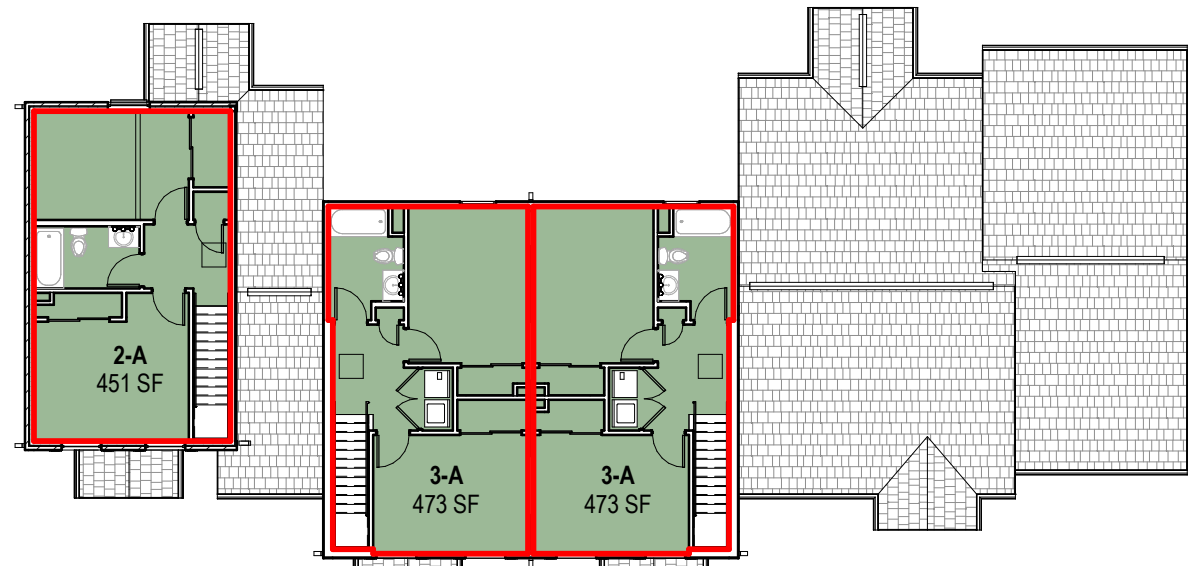
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COMMUNITY CENTER - NET AREA
1/16" = 1'-0"



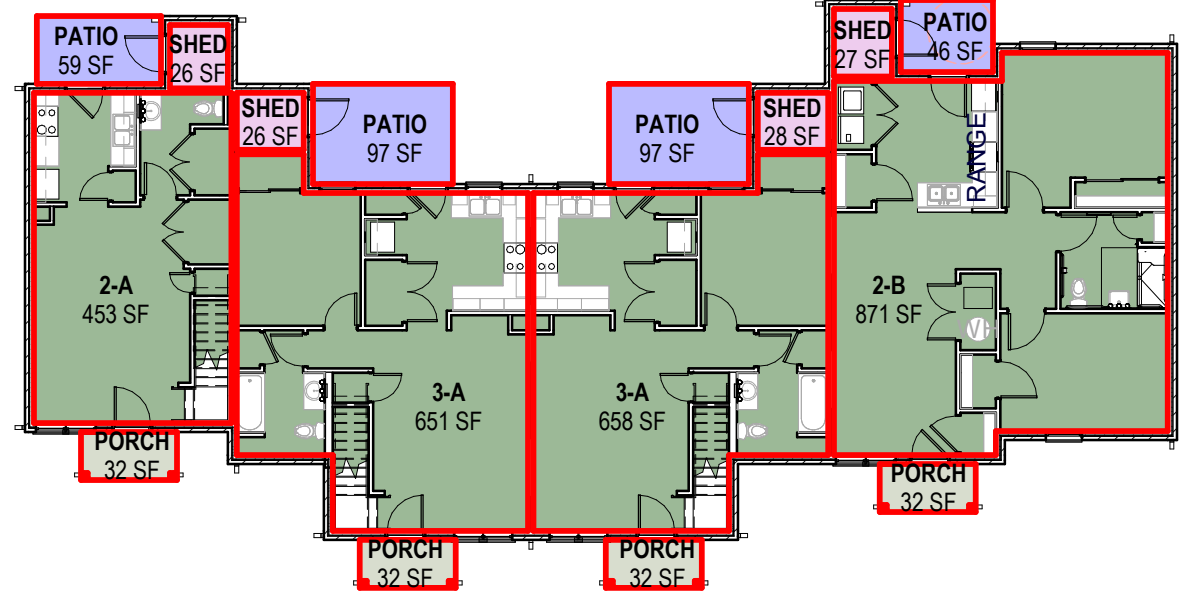
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BUILDING TYPE VI - SECOND FLOOR NET AREA
1/16" = 1'-0"



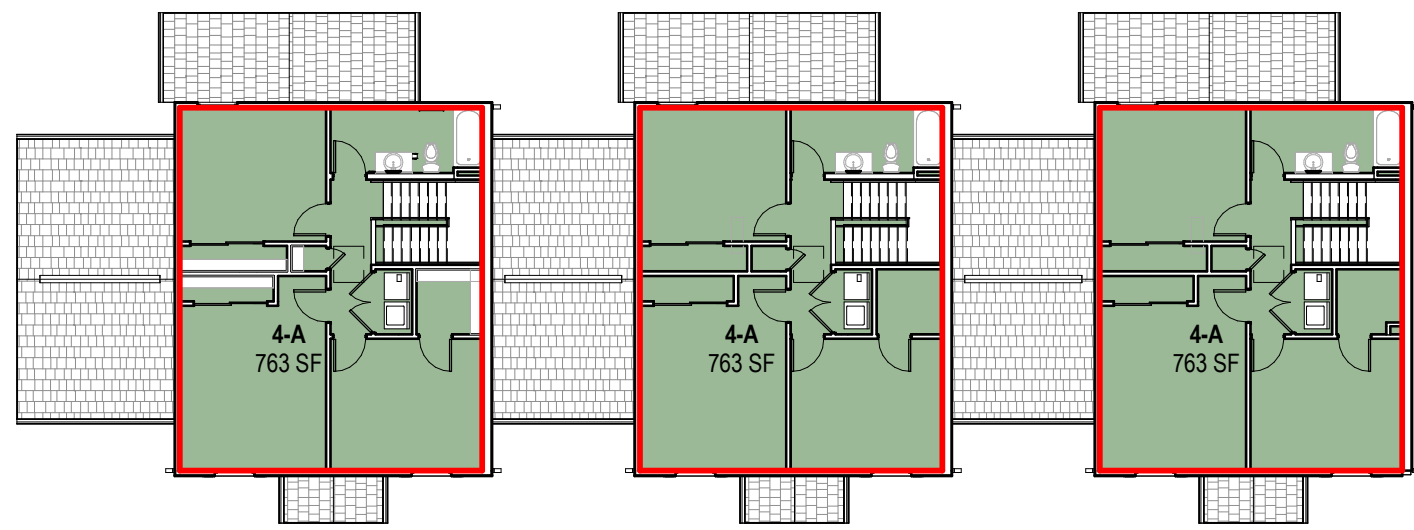
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BUILDING TYPE VI - FIRST FLOOR NET AREA
1/16" = 1'-0"



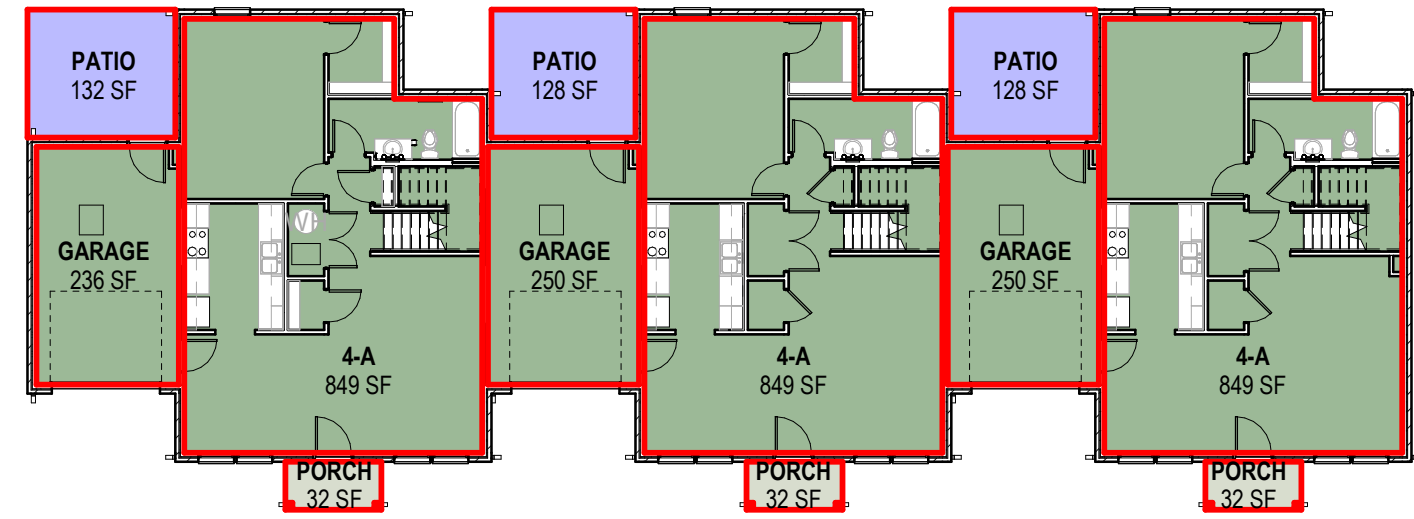
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BUILDING TYPE V - SECOND FLOOR NET AREA
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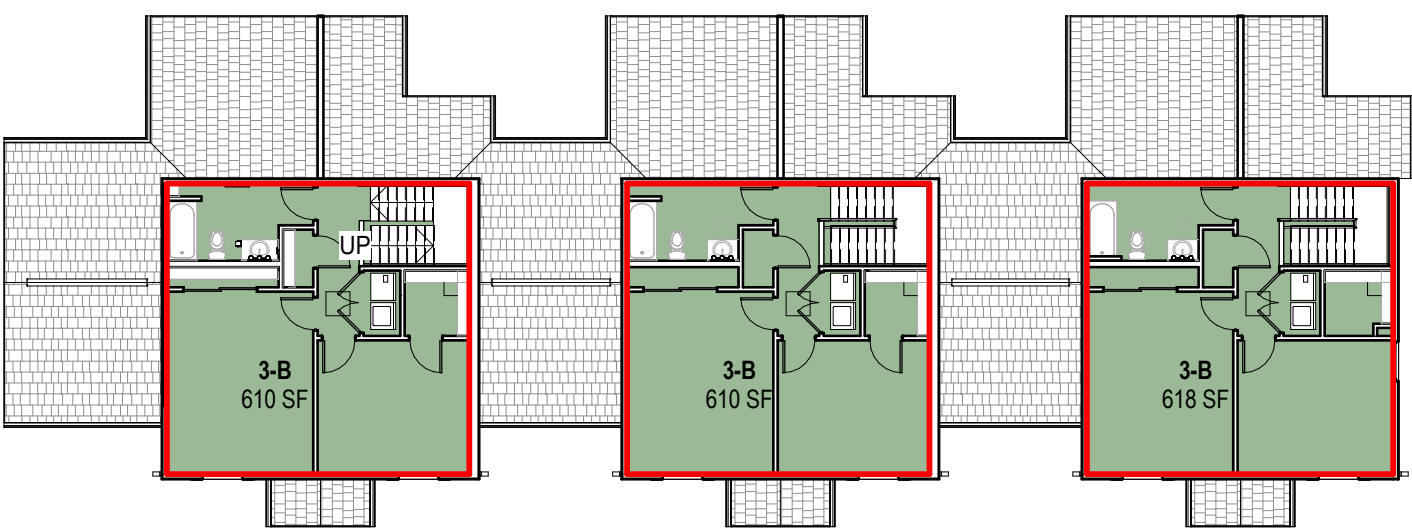
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BUILDING TYPE V - FIRST FLOOR NET AREA
1/16" = 1'-0"



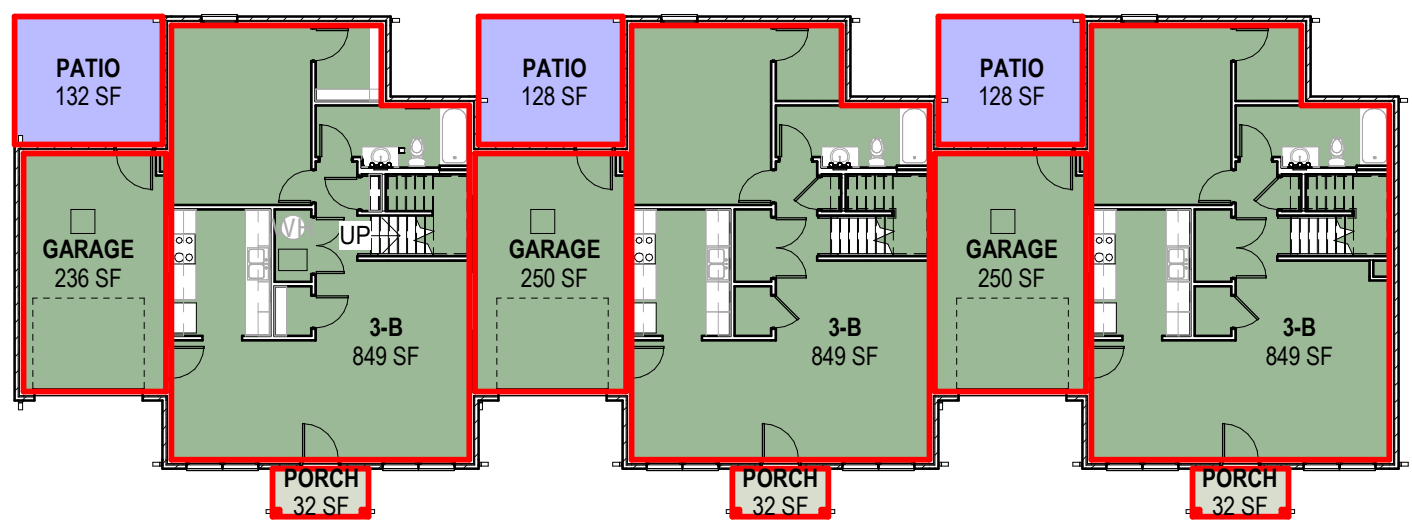
8 PLAN

BUILDING TYPE IV - SECOND FLOOR NET AREA
1/16" = 1'-0"



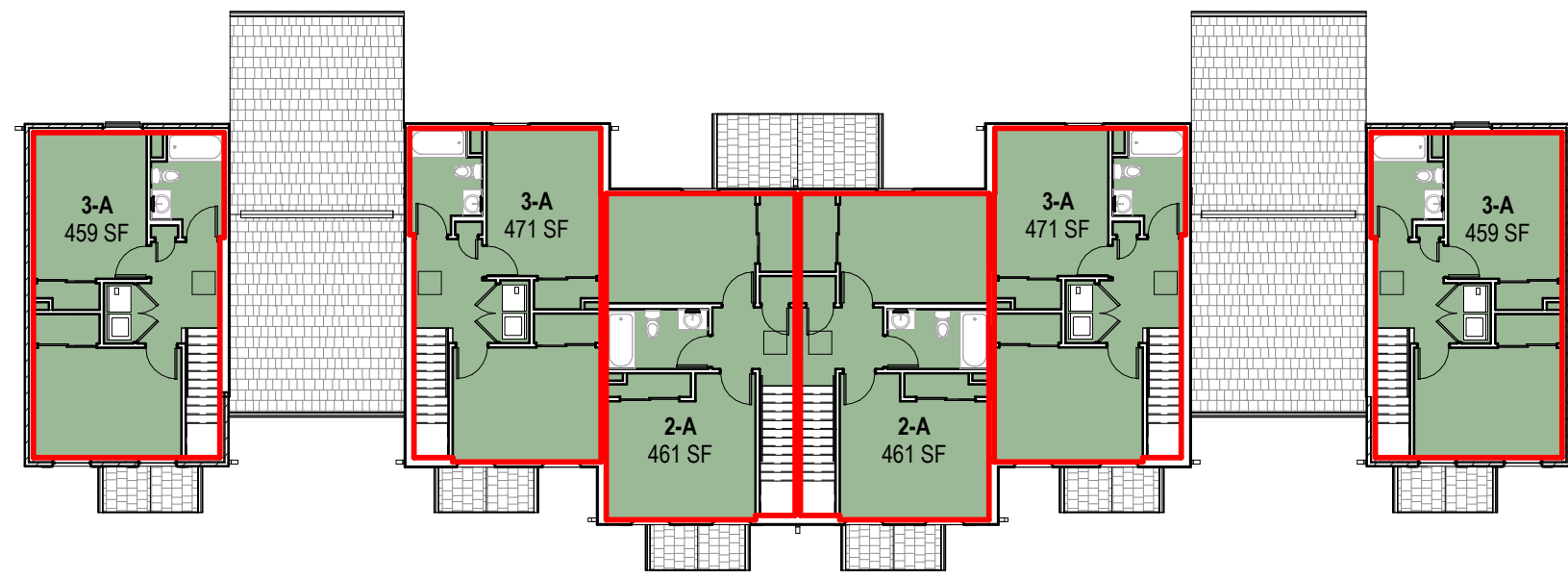
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BUILDING TYPE IV - FIRST FLOOR NET AREA
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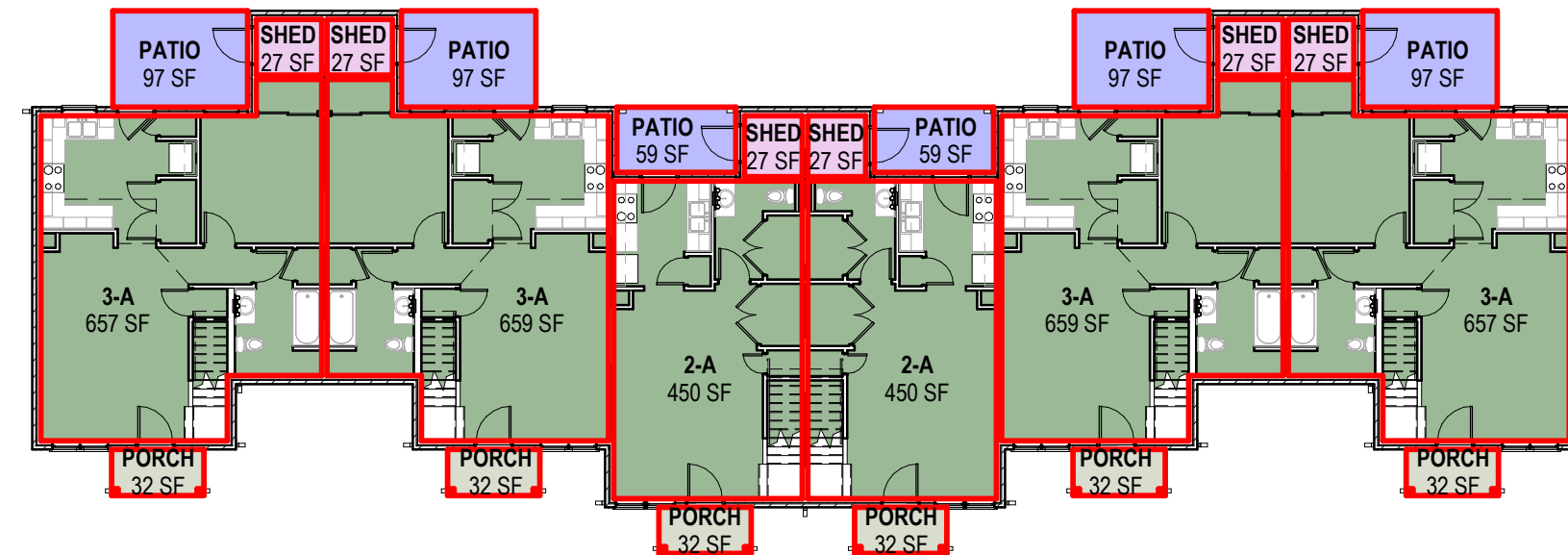
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BUILDING TYPE III - SECOND FLOOR NET AREA
1/16" = 1'-0"



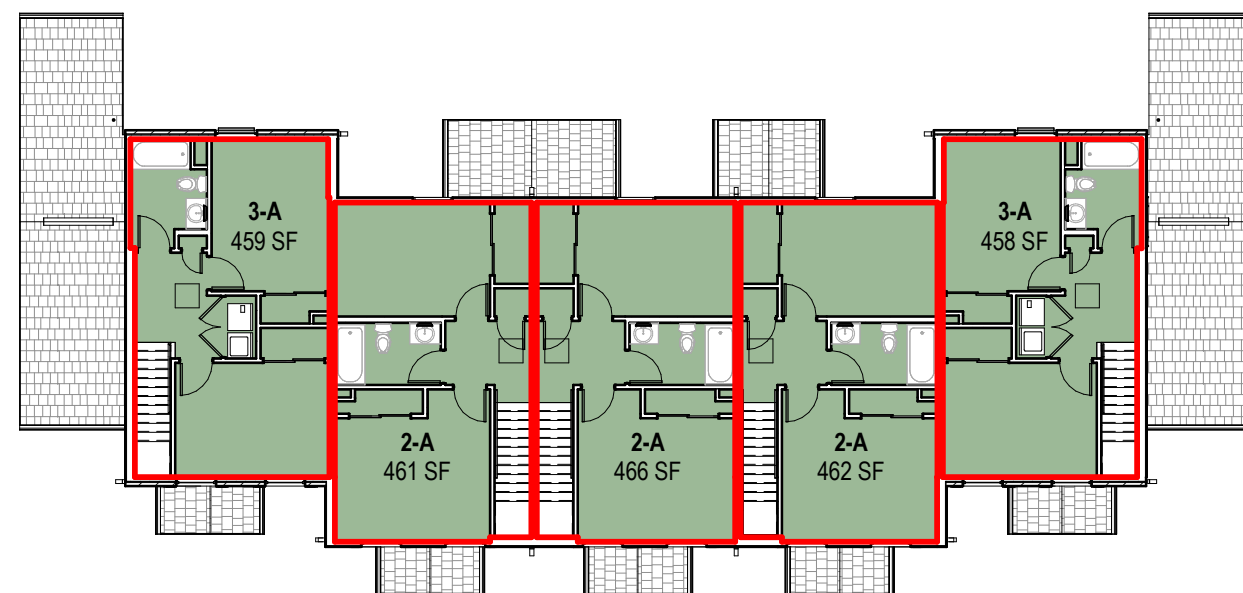
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BUILDING TYPE III - FIRST FLOOR NET AREA
1/16" = 1'-0"



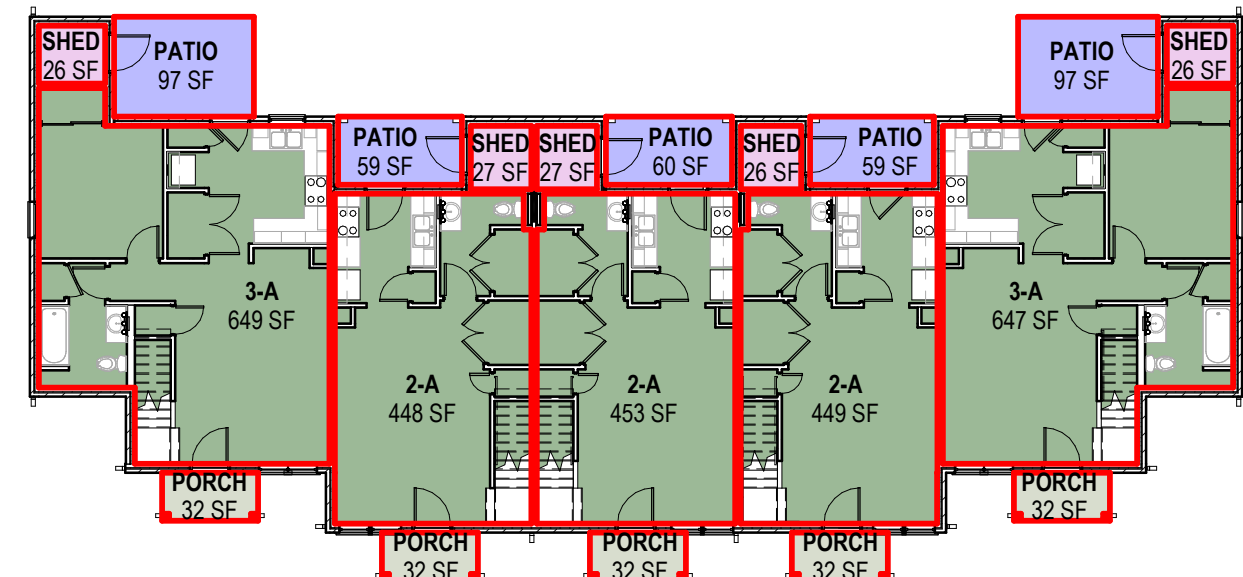
4 PLAN

BUILDING TYPE II - SECOND FLOOR NET AREA
1/16" = 1'-0"



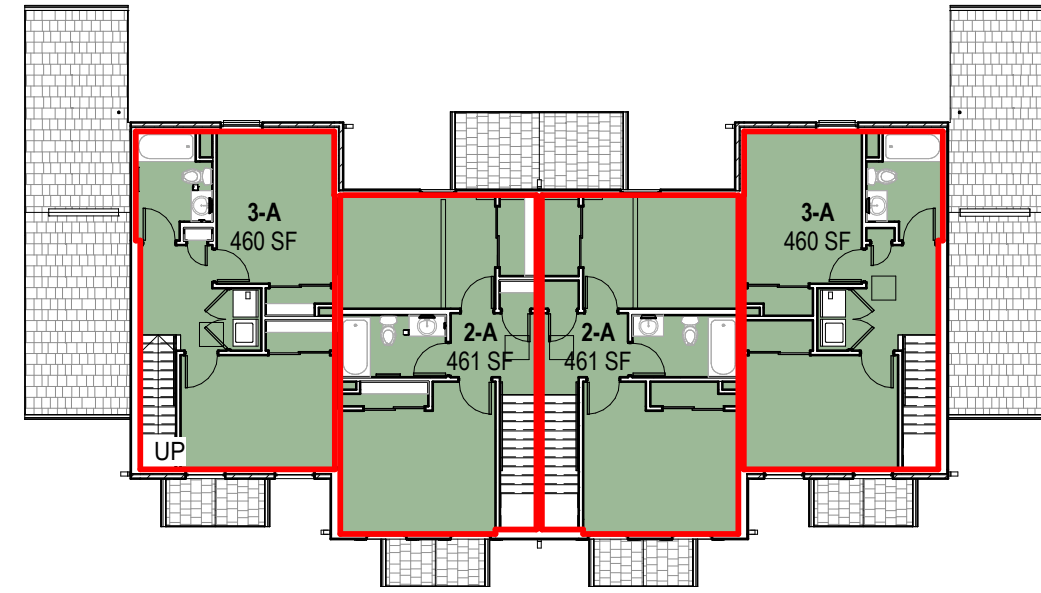
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BUILDING TYPE II - FIRST FLOOR NET AREA
1/16" = 1'-0"



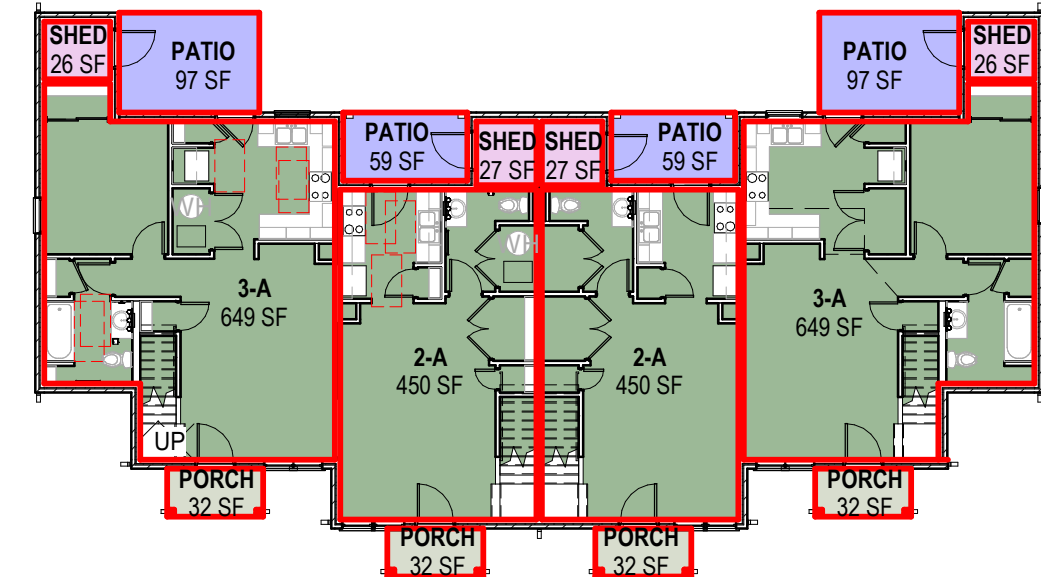
2 PLAN

BUILDING TYPE I - SECOND FLOOR NET AREA
1/16" = 1'-0"



1 PLAN

BUILDING TYPE I - FIRST FLOOR NET AREA
1/16" = 1'-0"



- C.A. PUBLIC
- PATIO
- PORCH
- PROGRAM SPACE
- RESIDENTIAL
- STORAGE
- SUPPORT

GENERAL NOTES - AREA PLANS

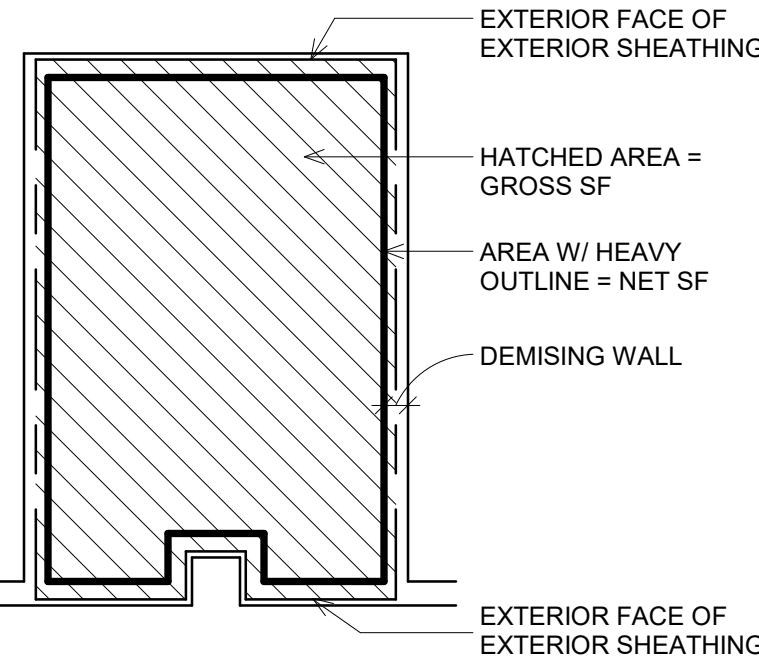
- A. REFER TO G SERIES SHEETS FOR AREA SUMMARIES BY BUILDING TYPE AND UNIT TYPE.
- B. REFER TO G SERIES SHEETS FOR EXISTING SITE PLAN AND SITE INFORMATION.

AREA PLAN SCHEDULE (BUILDING NET)

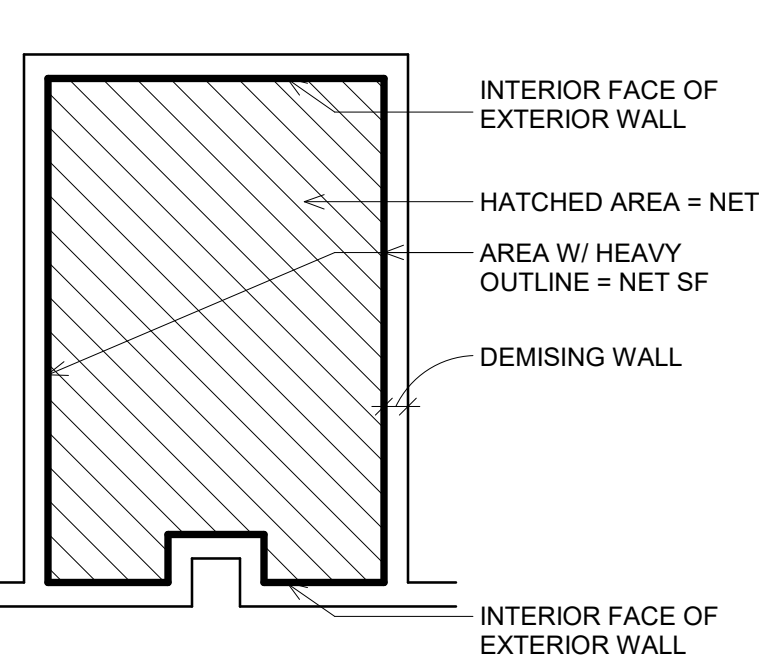
DEPARTMENT	NAME	AREA	NO. OF BLDGS.	TOTAL AREA
BUILDING TYPE I				
PATIO	PATIO	312 SF	7	2,181 SF
PORCH	PORCH	127 SF	7	890 SF
RESIDENTIAL	2-A	1,821 SF	7	12,746 SF
RESIDENTIAL	3-A	2,216 SF	7	15,515 SF
STORAGE	SHED	106 SF	7	743 SF
BUILDING TYPE II				
PATIO	PATIO	371 SF	1	371 SF
PORCH	PORCH	159 SF	1	159 SF
RESIDENTIAL	2-A	2,738 SF	1	2,738 SF
RESIDENTIAL	3-A	2,214 SF	1	2,214 SF
STORAGE	SHED	133 SF	1	133 SF
BUILDING TYPE III				
PATIO	PATIO	506 SF	4	2,024 SF
PORCH	PORCH	191 SF	4	763 SF
RESIDENTIAL	2-A	1,821 SF	4	7,285 SF
RESIDENTIAL	3-A	4,491 SF	4	17,964 SF
STORAGE	SHED	163 SF	4	650 SF
BUILDING TYPE IV				
PATIO	PATIO	388 SF	4	1,550 SF
PORCH	PORCH	95 SF	4	381 SF
RESIDENTIAL	3-B	4,386 SF	4	17,541 SF
RESIDENTIAL	GARAGE	735 SF	4	2,939 SF
BUILDING TYPE V				
PATIO	PATIO	388 SF	2	776 SF
PORCH	PORCH	95 SF	2	191 SF
RESIDENTIAL	4-A	4,835 SF	2	9,671 SF
RESIDENTIAL	GARAGE	735 SF	2	1,469 SF
BUILDING TYPE VI				
PATIO	PATIO	299 SF	5	1,495 SF
PORCH	PORCH	127 SF	5	636 SF
RESIDENTIAL	2-A	903 SF	5	4,517 SF
RESIDENTIAL	2-B	871 SF	5	4,355 SF
RESIDENTIAL	3-A	2,255 SF	5	11,274 SF
STORAGE	SHED	107 SF	5	535 SF
COMMUNITY CTR				
C.A. PUBLIC	CONFERENCE ROOM	477 SF	1	477 SF
C.A. PUBLIC	CORRIDOR	108 SF	1	108 SF
C.A. PUBLIC	KITCHEN	53 SF	1	53 SF
C.A. PUBLIC	OFFICE	544 SF	1	544 SF
C.A. PUBLIC	STORAGE	44 SF	1	44 SF
C.A. PUBLIC	TOILET	93 SF	1	93 SF
PORCH	PORCH	233 SF	1	233 SF
PROGRAM SPACE	EARLY LEARNING CENTER	3,794 SF	1	3,794 SF
SUPPORT	MECH	183 SF	1	183 SF
SUPPORT	STORAGE	274 SF	1	274 SF
MAINTENANCE BUILDING				
SUPPORT	MAINTENANCE	806 SF	1	806 SF
TOTAL		40,196 SF		130,315 SF

UNIT SQUARE FOOTAGE DIAGRAM

GROSS AREA



NET AREA



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FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
300 SPRUCE STREET
SUITE 300
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PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

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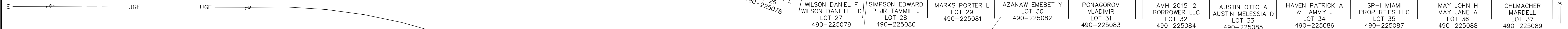


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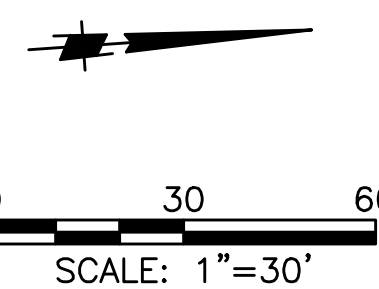
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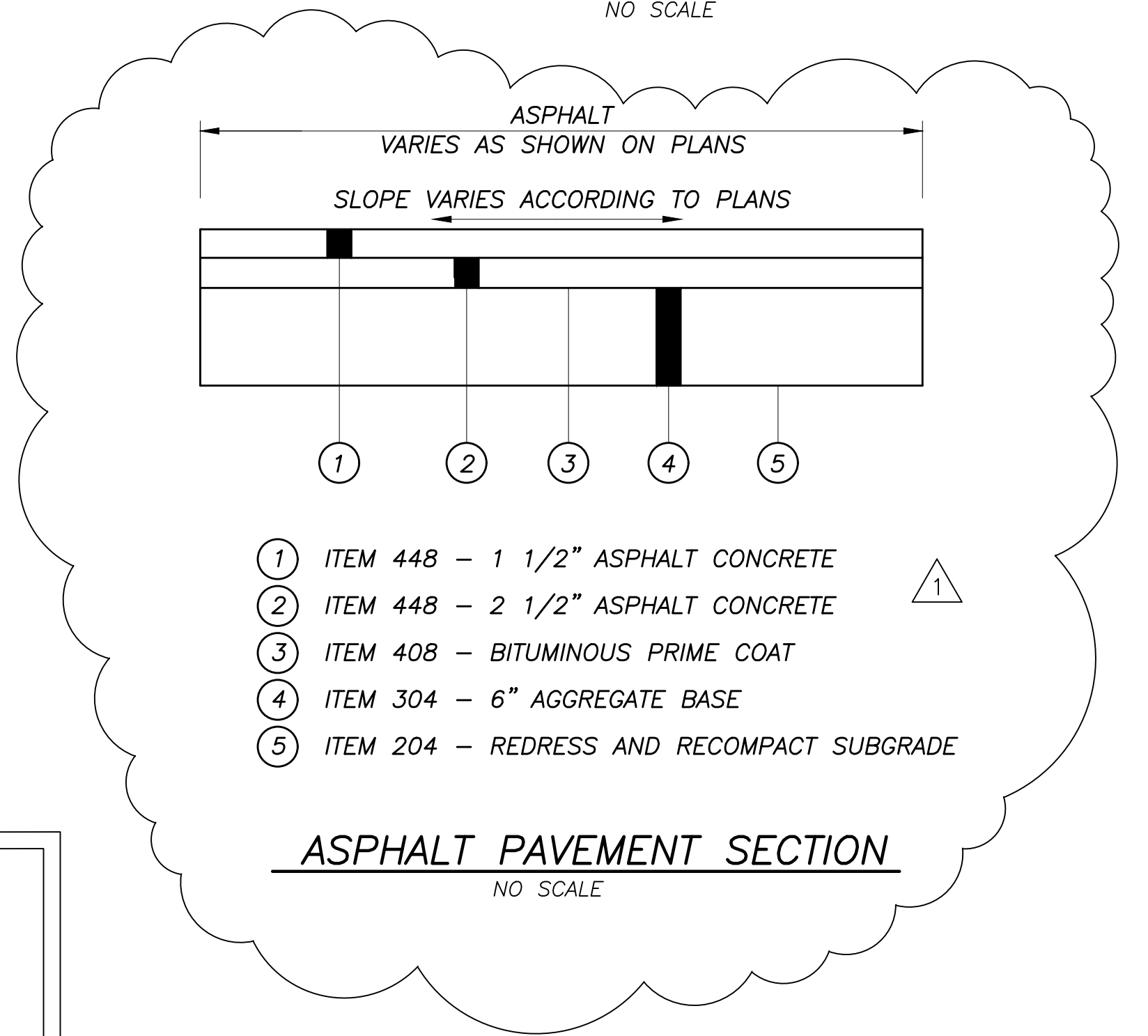
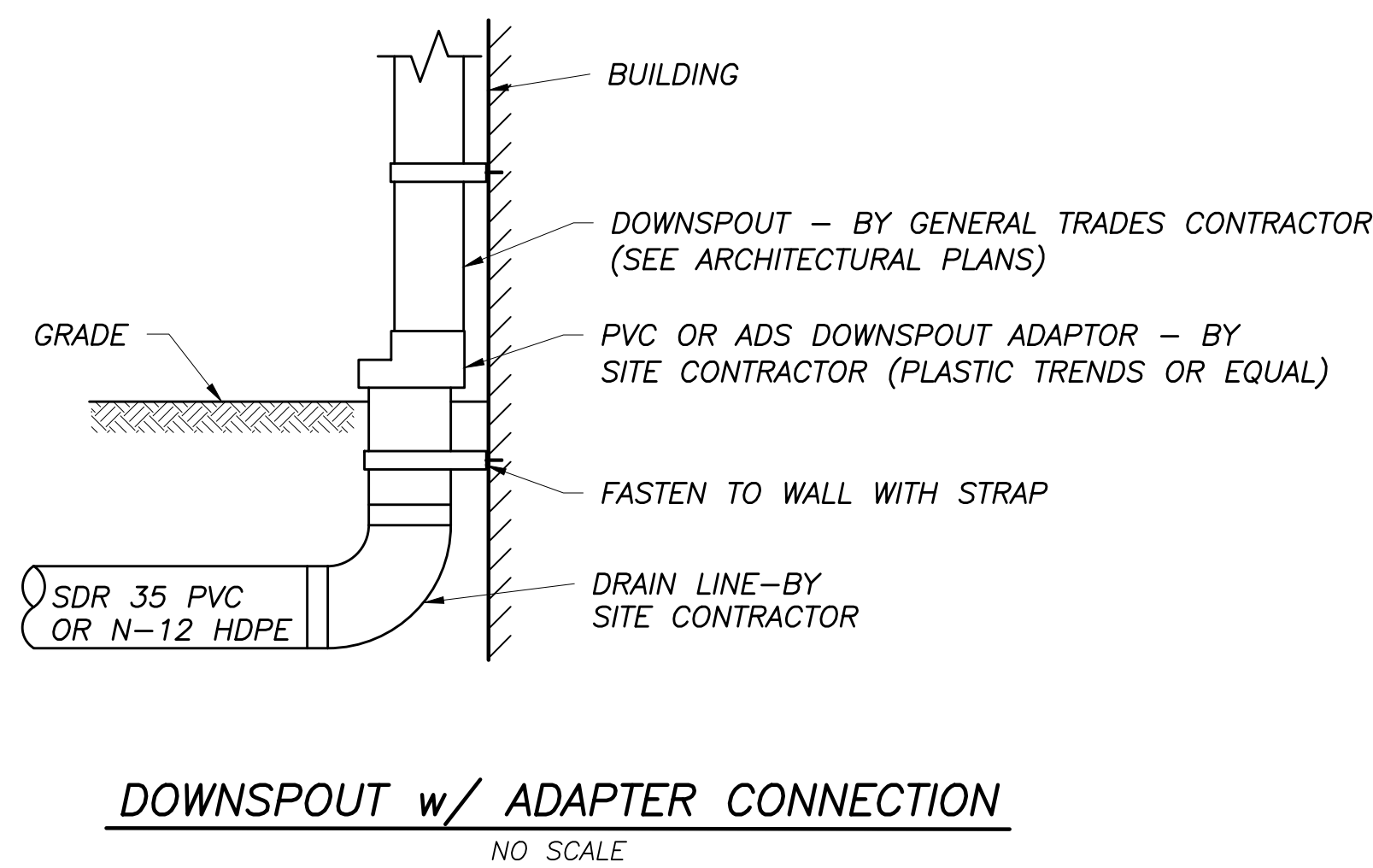
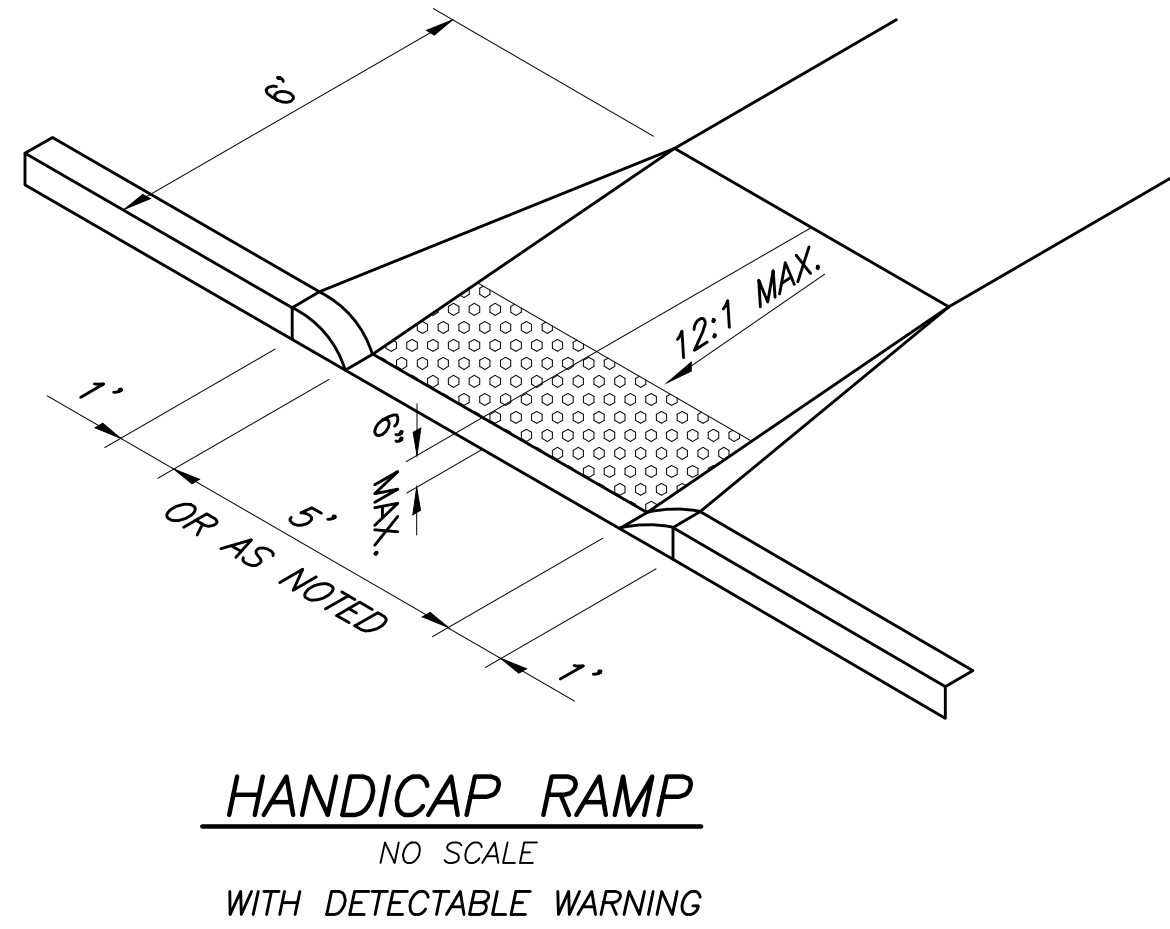
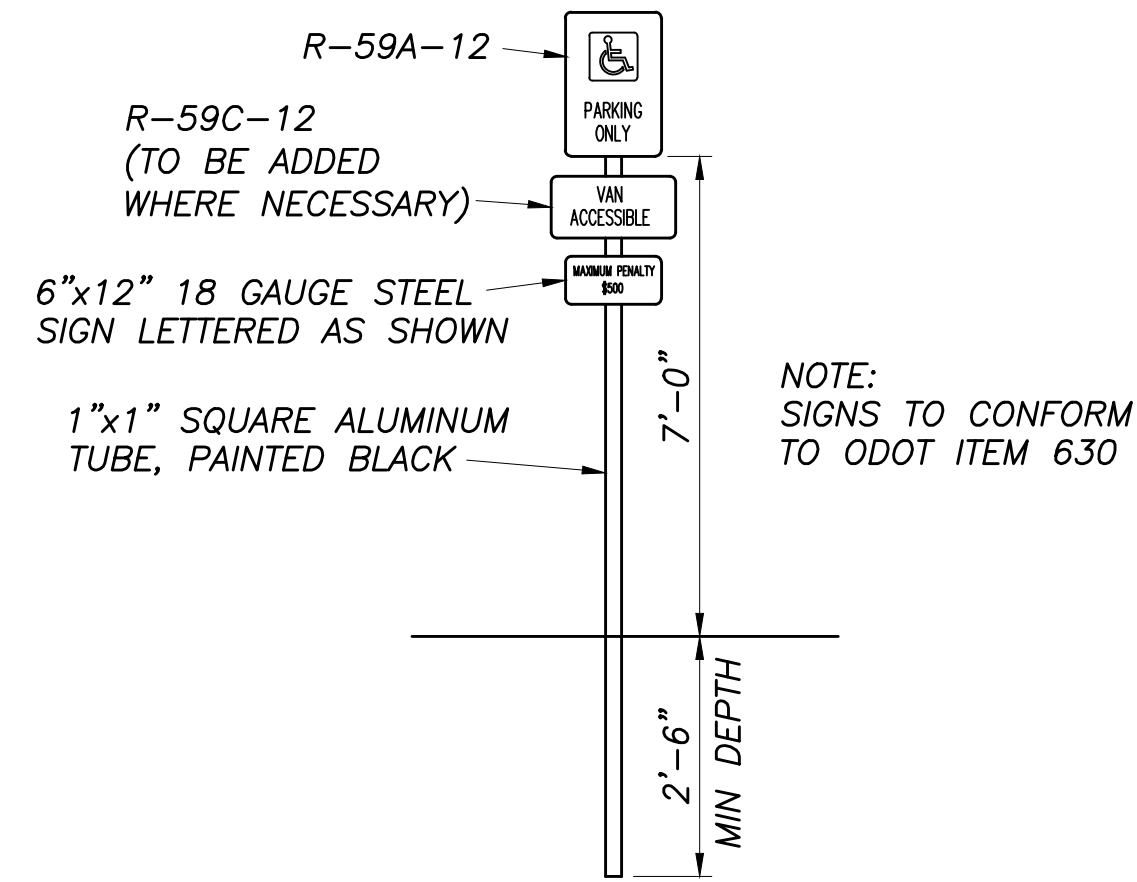
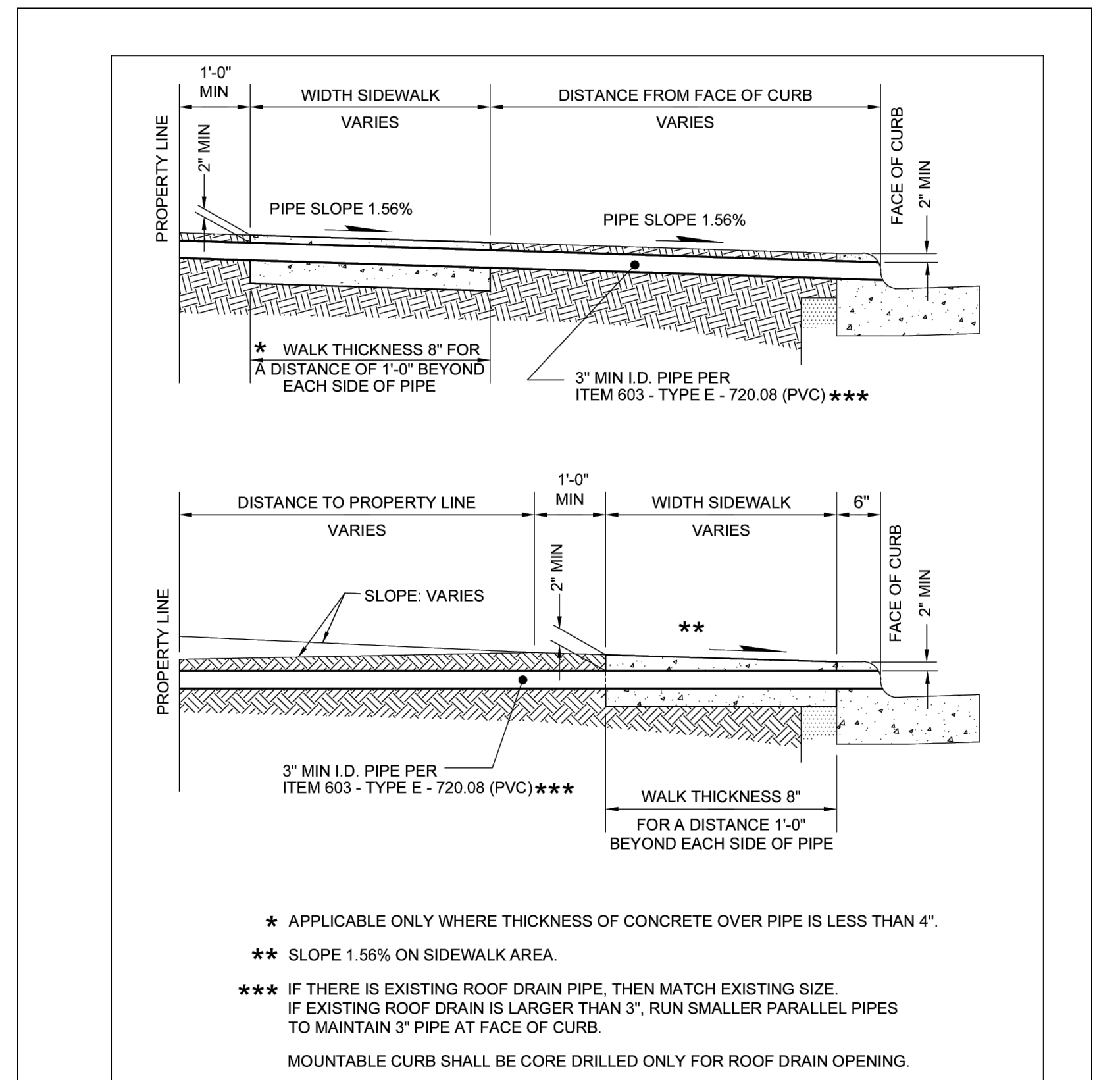
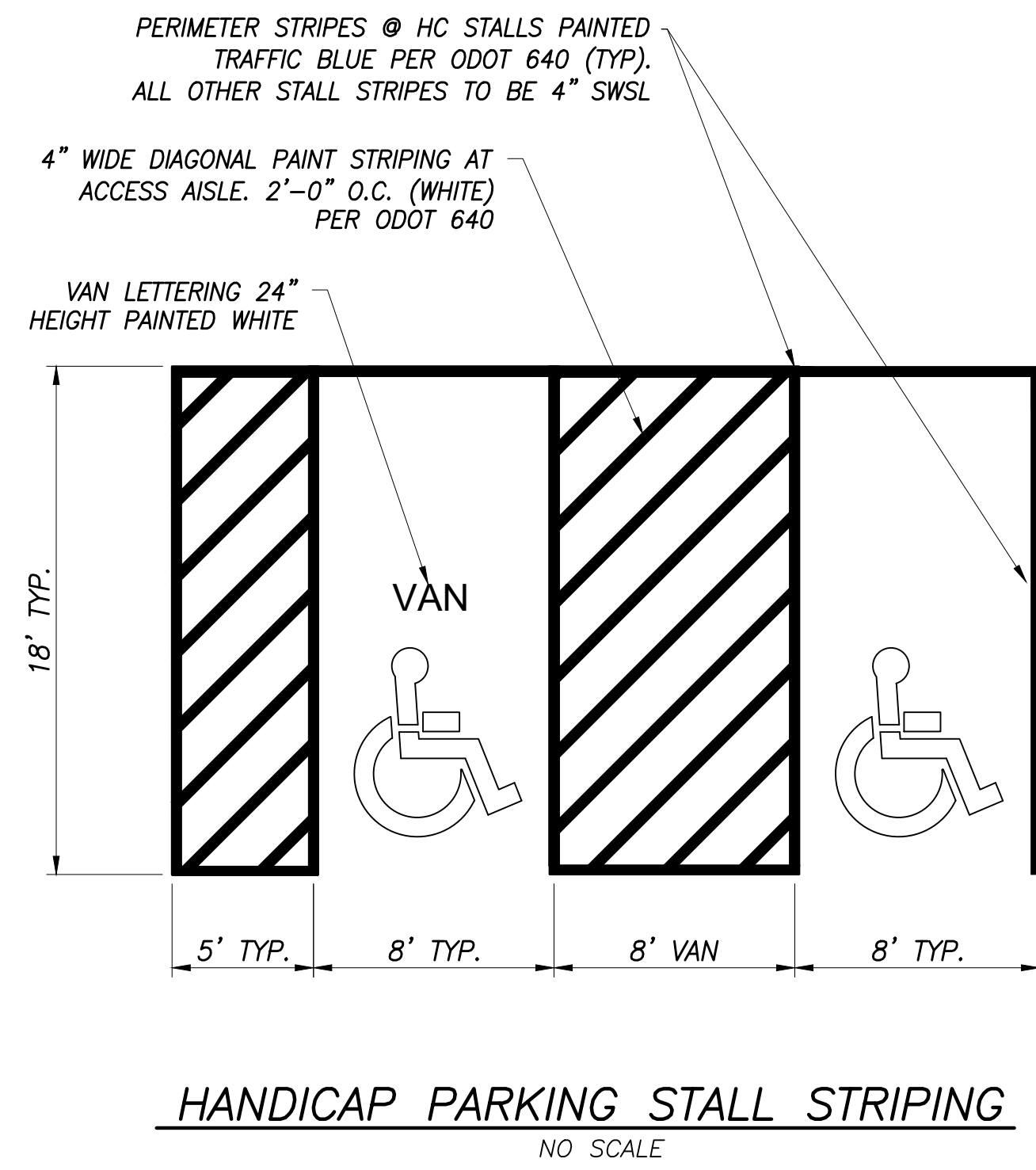
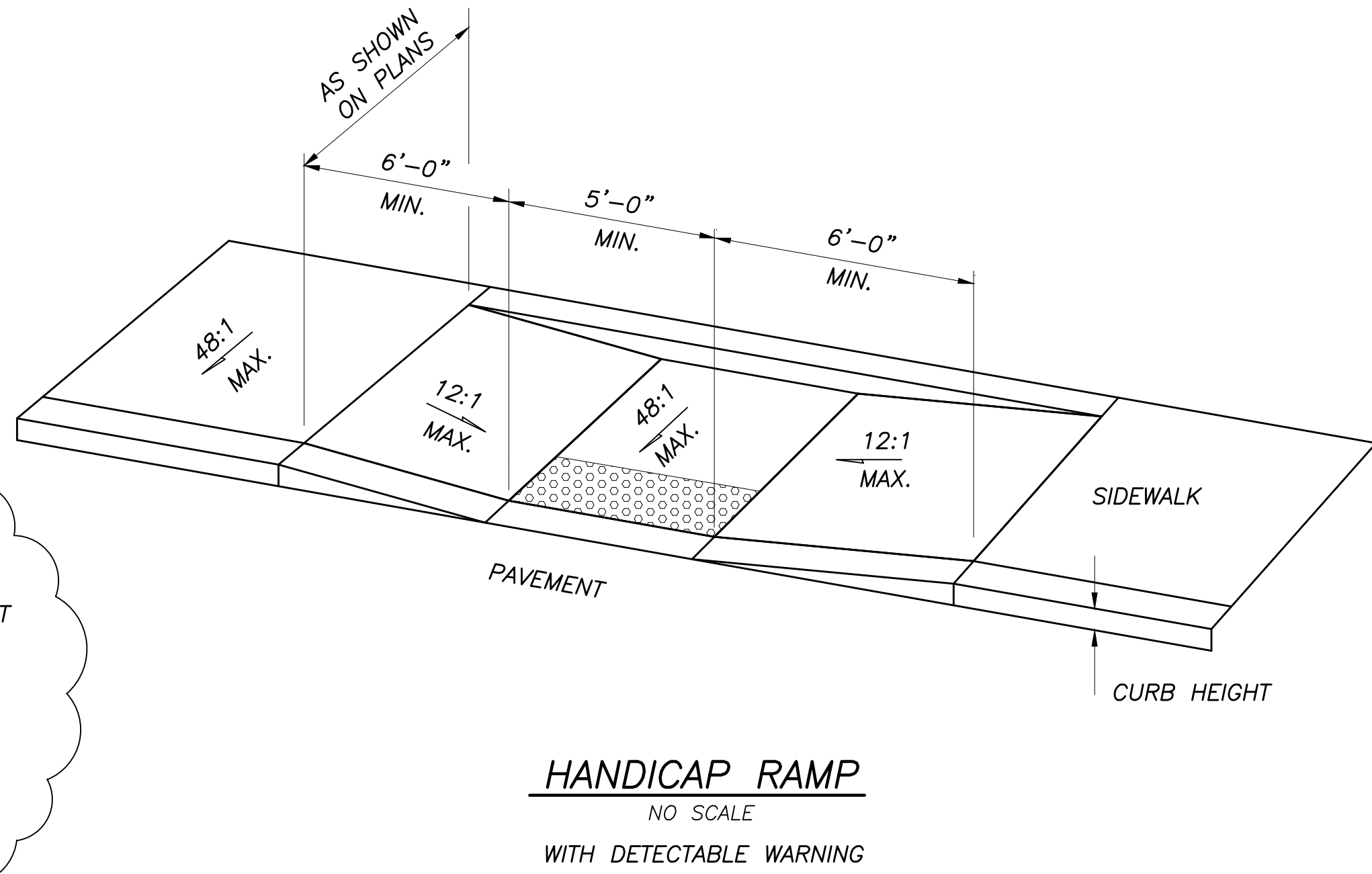
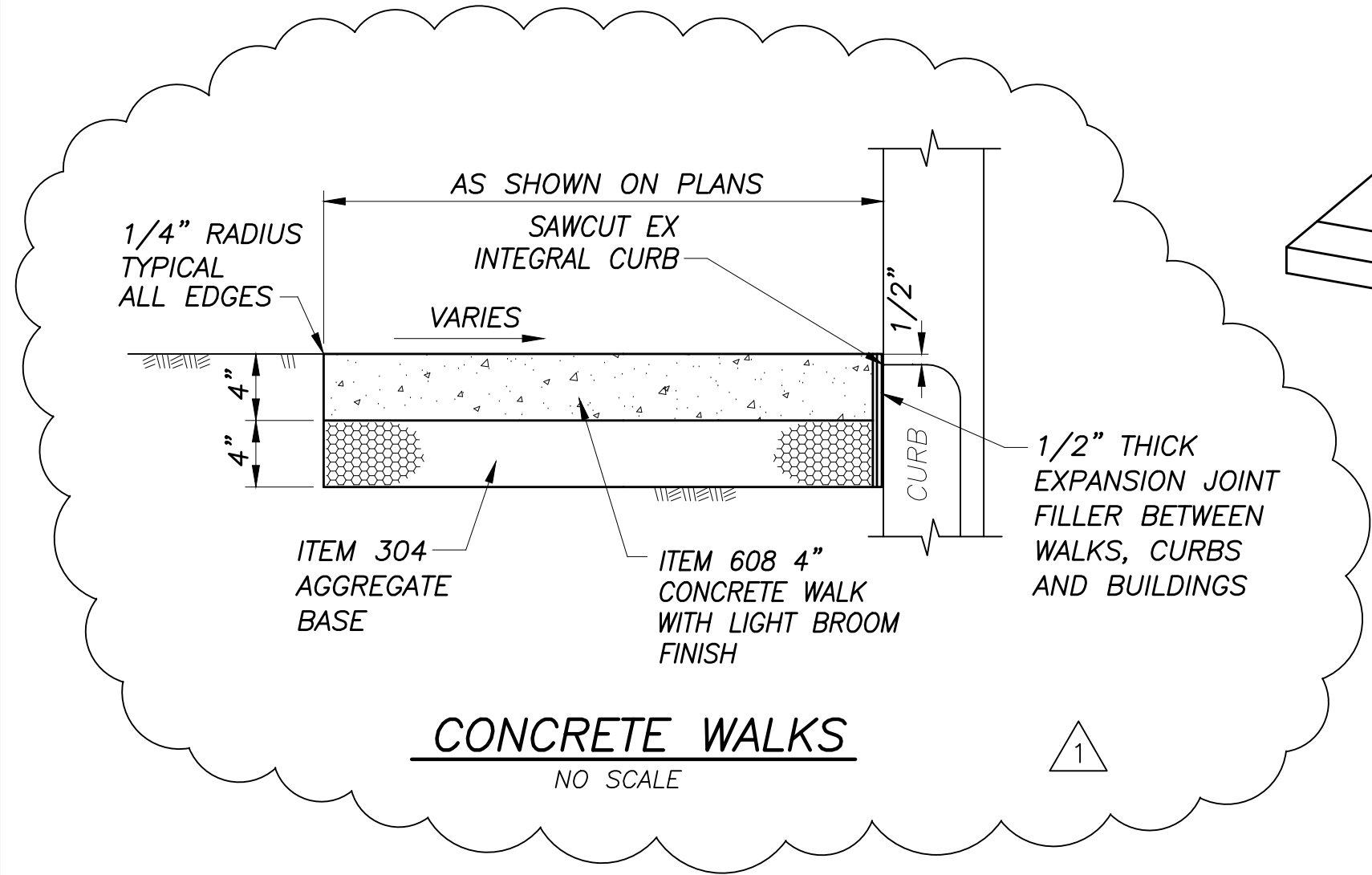


1. EXISTING DRIVEWAY TO BE RESEALED
2. PROPOSED CURB RAMP, SEE DETAIL SHEET 301
3. PROPOSED FLUSH SIDEWALK
4. TRANSITION CURB 0" TO 6" (TO MATCH EX.)
5. FLUSH WALK
6. PROPOSED PARALLEL RAMP, SEE DETAIL SHEET 301.
7. PAINT STRIPED CROSSWALK
8. EXISTING DUMPSTERS
9. REPLACE WALK TO UNIT
10. REMOVE EXISTING FENCE AND MULCH AND REPLACE COORDINATING EXTENTS WITH EQUIPMENT PROVIDER. PROVIDE NEW Poured "PLAIN" SURFACE AND PROVIDE AND INSTALL NEW TRASH RECEPTACLE TO MATCH EXISTING BENCHES.
11. EXISTING CONCRETE PAD AND BENCHES TO REMAIN
12. EXISTING PLAYGROUND
13. PROPOSED HOT BOX. INSTALL PER WSP2754
14. HANDICAPPED PARKING SIGN
15. HANDICAPPED PARKING STRIPPING
16. ALIGN GRASS AND EXISTING AISLES WITH EXISTING FLUSH CURB

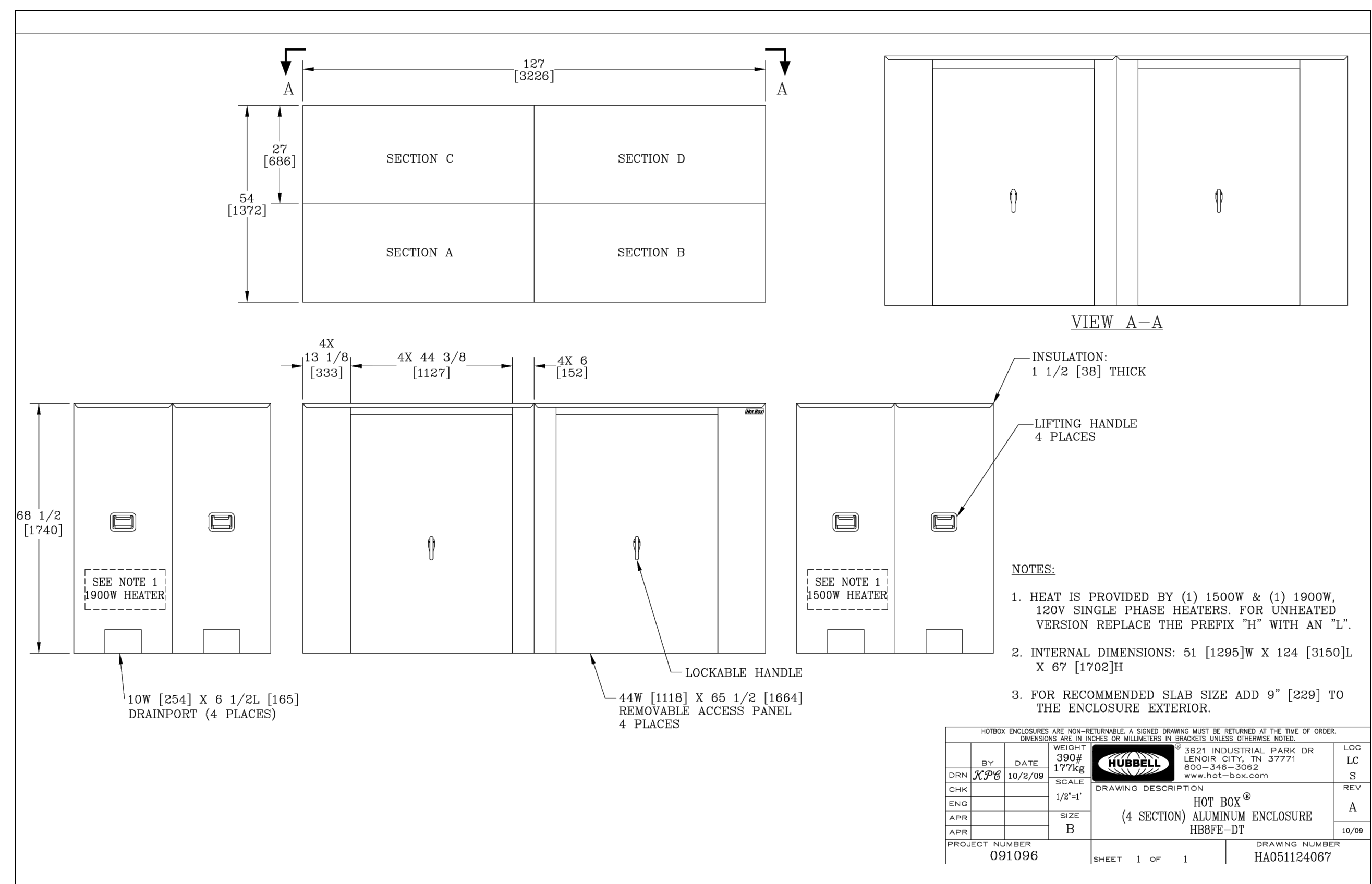
1. PROVIDE 3" SDR 35 ROOF LEADERS FROM ALL FRONT DOWNSPOUTS SERVING THE MAIN ROOF TO THE CURB. WHERE THERE IS FLUSH WALK IN FRONT OF A DOWNSPOUT, TIE TO THE NEXT ADJACENT WALK THAT CAN GO OUTLET TO THE CURB, UNLESS A DIRECT CATCH BASIN TIE IS INDICATED ON PLAN. PROVIDE ADAPTER PER SHEET C-10.
2. PROVIDE CONCRETE CURB SPIN LOCKS FOR ALL DOWNSPOUTS SERVING PORCHES.
3. THE ABOVE DISTURBANCE IS UNDER THE DE-MINIMIS REQUIREMENTS FOR DETENTION OF CREATING 10,000 SQ.FT. OR LESS OF IMPERVIOUS AREA DISTURBANCE AND/OR NOT CREATING MORE THAN 2,000 SQ.FT. OF NEW, NET IMPERVIOUS AREA. HOWEVER, FOR ANY FUTURE DEVELOPMENTS ON THIS SITE, THE ABOVE DISTURBANCE WILL BE ADDED TO ANY NEW DISTURBANCE PROPOSED, AND HENCE ALL DEVELOPMENT WILL BE CUMULATIVE.
4. FOLLOWING MILL AND OVERLAY, PARKING LOT IS TO BE RE-STRIPED PER PLANS.
5. CONTRACTOR IS TO CONFIRM GRADES AT PROPOSED HANDICAPPED RAMP LOCATIONS. IF ADA SLOPES CANNOT BE OBTAINED AT THE LOCATION CALLED OUT ON PLANS, CONSULT WITH ARCHITECT/ENGINEER TO ADJUST KICK PARKING/RAMP LOCATIONS.
6. IN BASE BID PROVIDE 100 SF OF FULL DEPTH PAVING IN ADDITION TO WHAT IS SHOWN IN PLANS TO BE USED ON SITE AT THE DIRECTION OF THE OWNER/ARCHITECT.



 <i>Mark Larrison</i>	08/14/2025	
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	C102	
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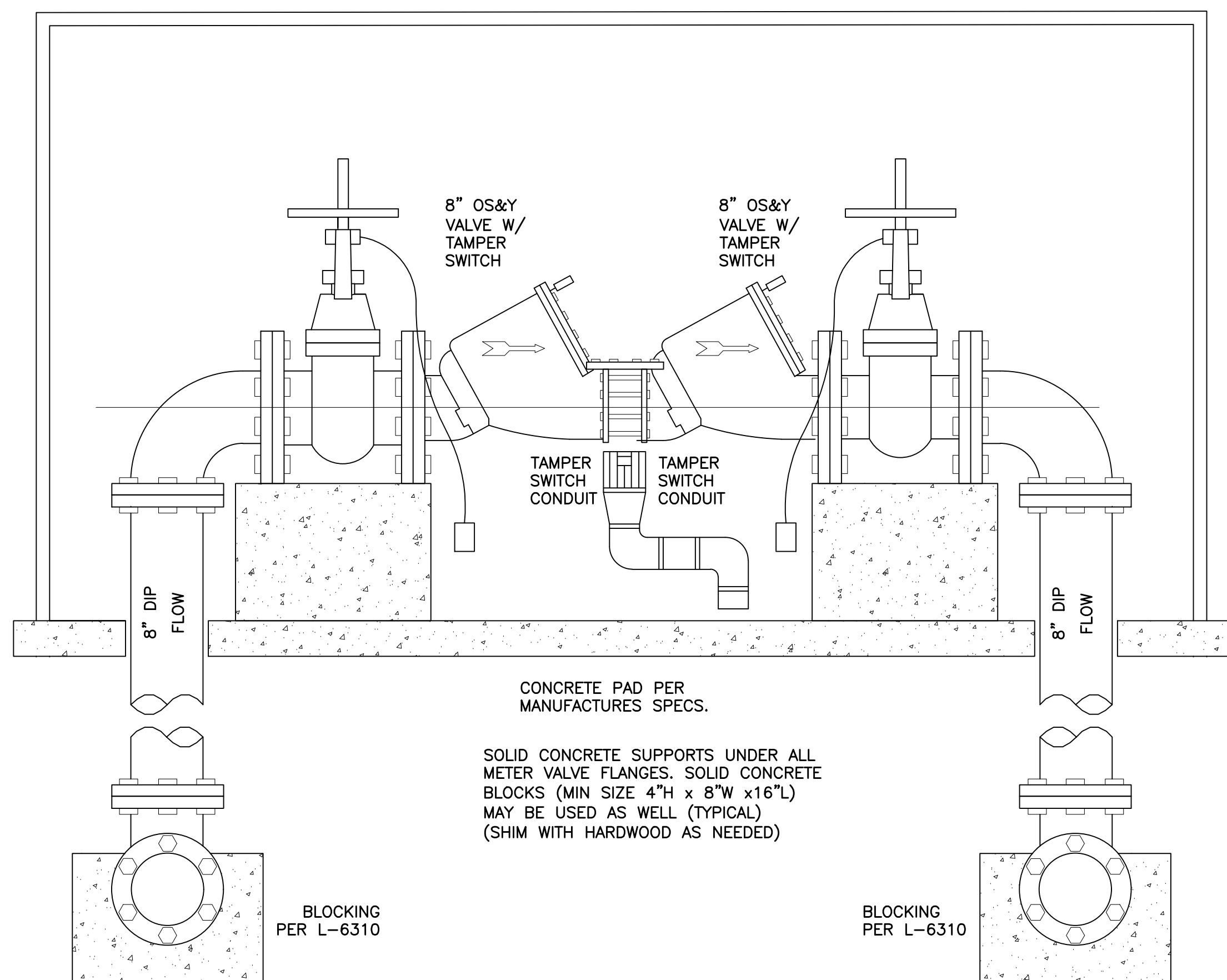


FIRE R.P.D.A. TO BE OS&Y VALVES ONLY.
R.P.D.A. DETECTOR METER SHALL
MEASURE IN CUBIC FEET AND MEET
THE AWWA C-700 STANDARD AND BE
EQUIPPED WITH ITRON 100W (TOWER) OR
A 100R (REMOTE)



NOTE:
A CUSTOM DIMENSION HOT BOX WILL BE
REQUIRED FOR INSTALLATION. DETAIL
PROVIDED FOR GENERAL GUIDANCE ONLY.

FOR RECOMMENDED SLAB SIZE, ADD 24" TO
THE EXTERIOR SIDES (WITH DOORS) AND 6" TO
THE EXTERIOR SIDES (WITHOUT DOORS).



#	DATE	CHANGE DESCRIPTION
1	9/10/2025	ADDENDUM #1

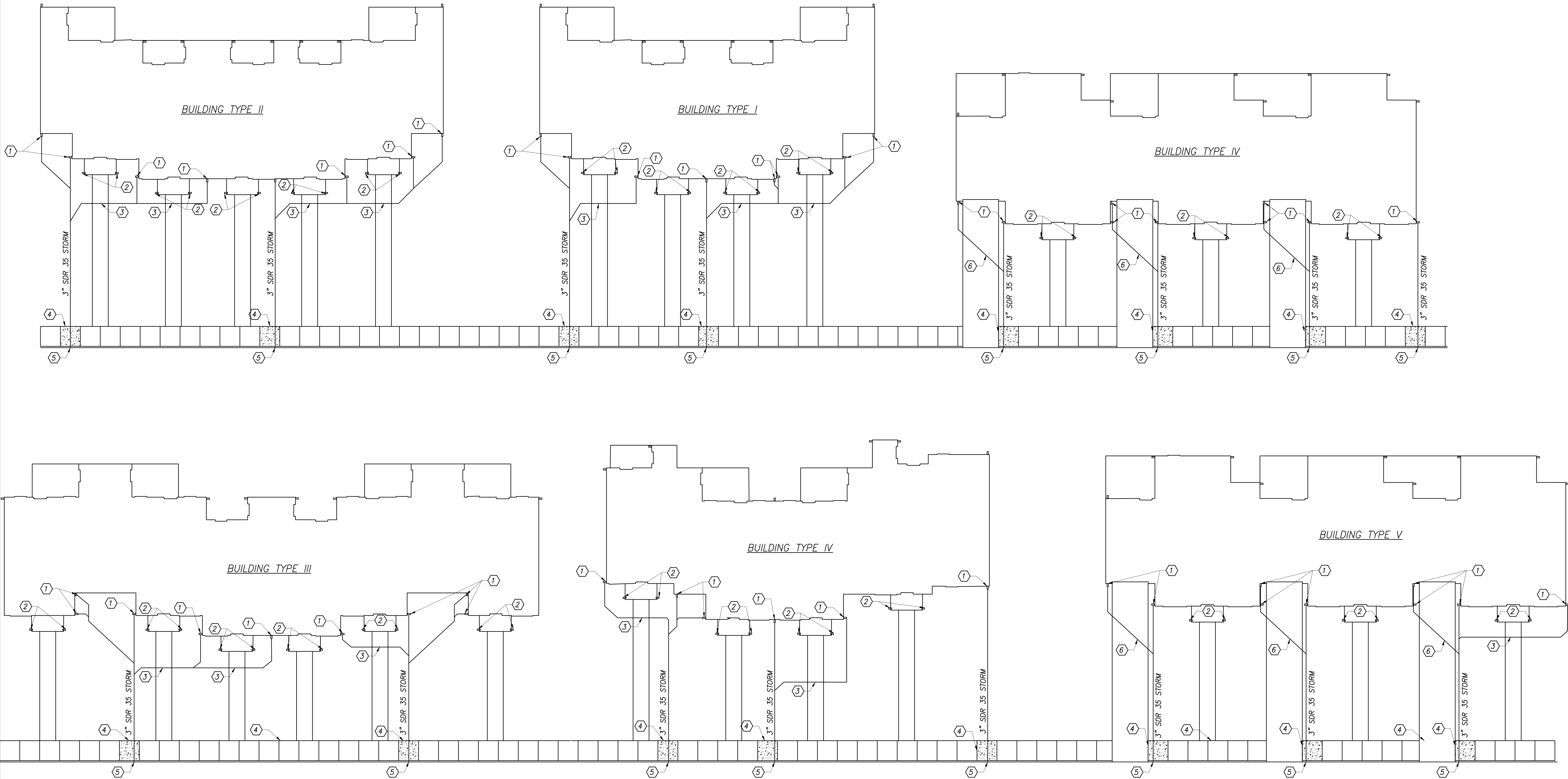
THE MEADOWS RAD RENOVATIONS
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43210
FOR
**COLUMBUS METROPOLITAN
HOUSING AUTHORITY**

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:	
DETAILS	

08/14/2025	
DRAWN BY: XXX	CHECKED BY: MSL
18076.04	
C301	
BID/PERMIT SET	

Mark Larrimer



ROOF LEADER SCHEMATIC
(NOT TO SCALE)

CODED NOTES:

1. TIE TO GUTTER WITH BOOT
2. PROVIDE AND INSTALL CONCRETE SPLASH BLOCK
3. BORE UNDER EX WALK
4. REMOVE AND REPLACE SIDEWALK TO NEAREST JOINT OR BORE UNDER EXISTING WALK
5. CORE OPENING IN EXISTING CURB
6. PAVEMENT REPAIR IN DRIVEWAY

NOTES:

1. DOWNSPOUT CONNECTIVITY SHOWN IS SCHEMATIC. CONTRACTOR SHALL ADJUST AS REQUIRED TO AVOID EXISTING VEGETATION, HANDICAPPED RAMPS ETC. CONTRACTOR SHALL COORDINATE FINAL LAYOUT WITH OWNER AND ARCHITECT

#	DATE	CHANGE DESCRIPTION
1	9/10/2025	ADDENDUM #1

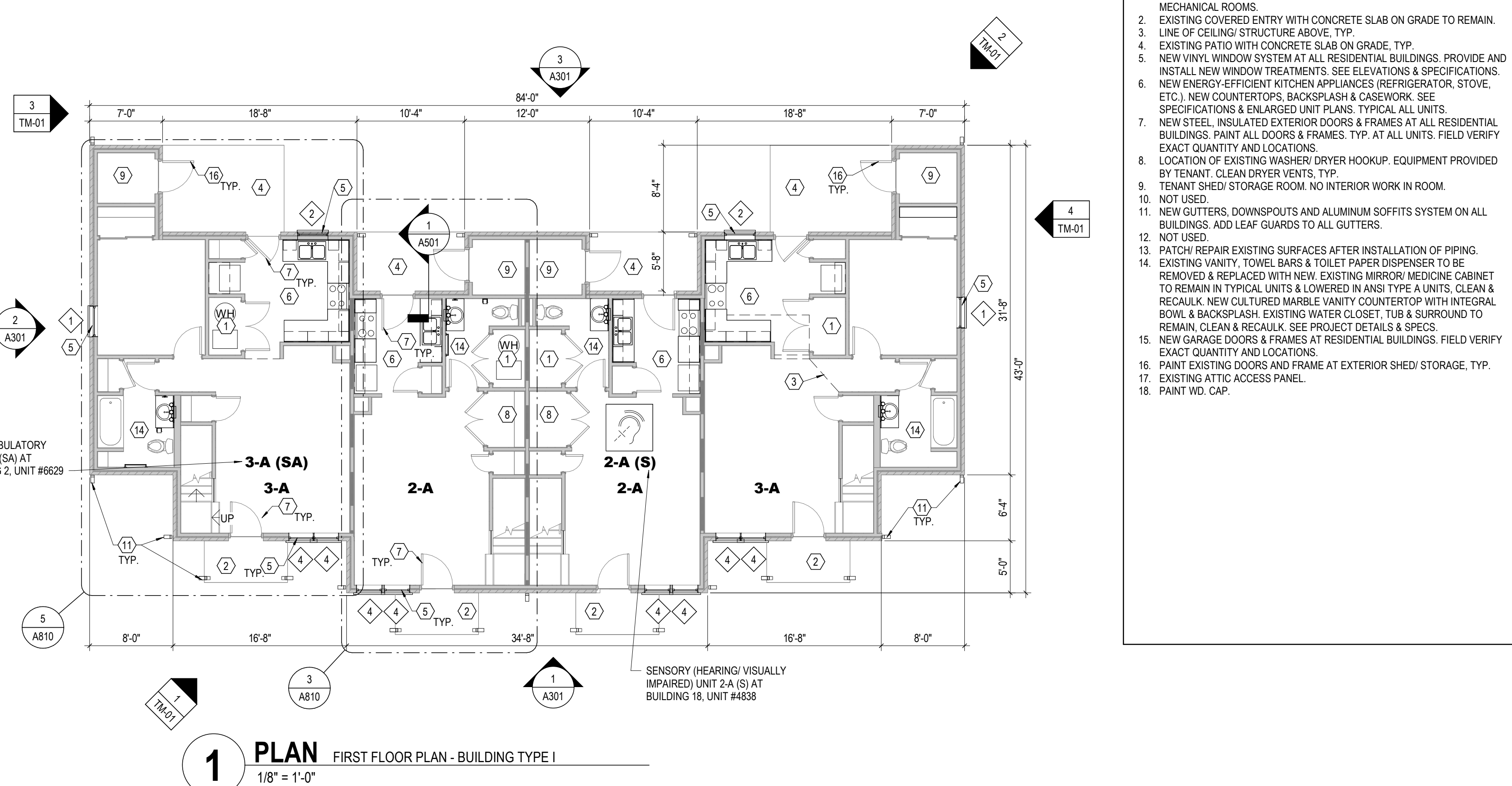
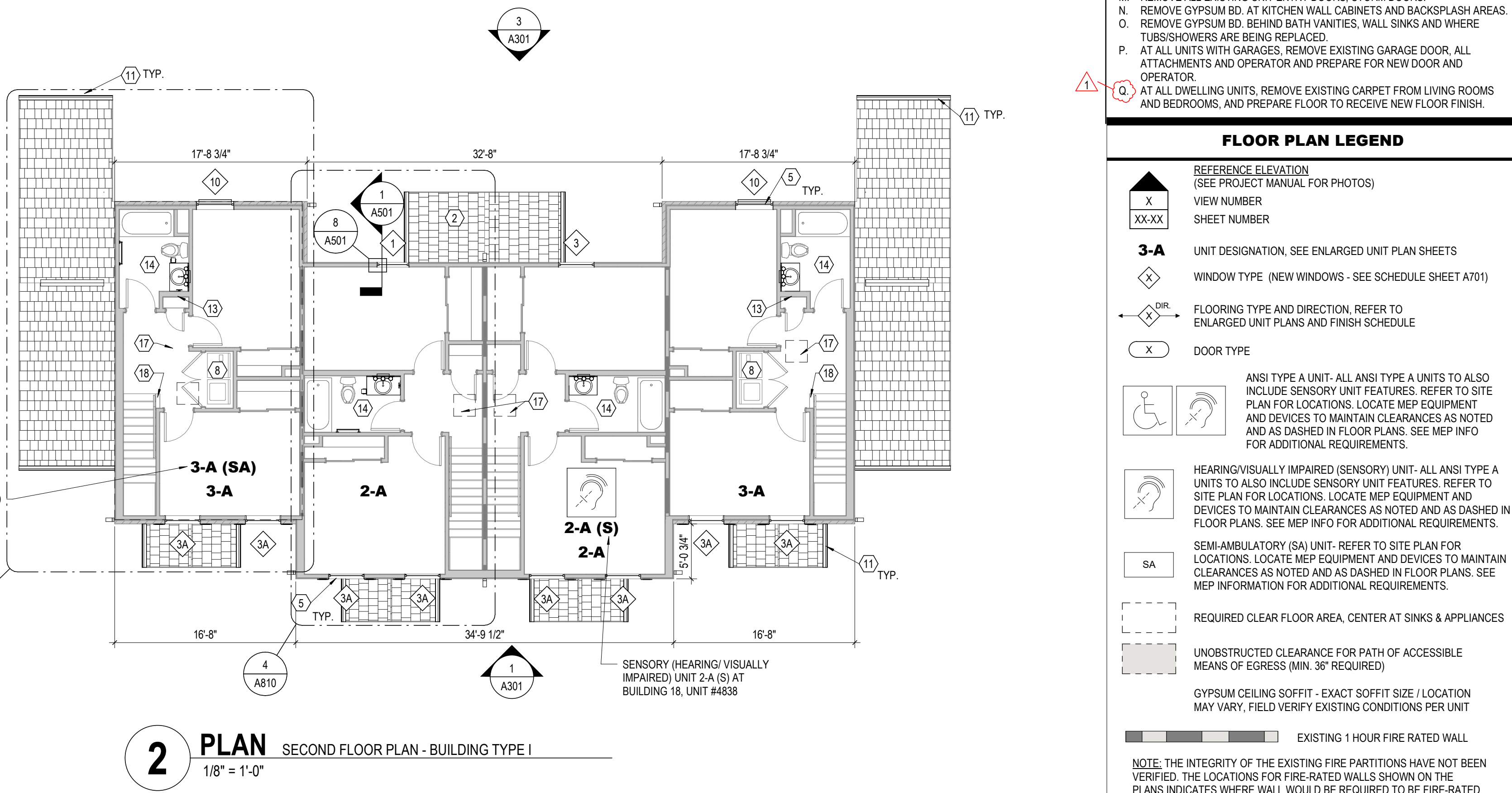
THE MEADOWS RAD RENOVATIONS
4855 PINTAL CREEK DRIVE
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FOR
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CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:

DETAILS

08/14/2025
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18076.04
C302
BID/PERMIT SET



- NOTE:** THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE-RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALL WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRESTOPPED.

- [illegible]

#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

**THE MEADOWS RAD
RENOVATIONS**
4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43110
FOR
**COLUMBUS METROPOLITAN HOUSING
AUTHORITY**



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:
**OVERALL FLOOR PLANS -
TYPE - I & II**

	08/14/2025	
	DRAWN BY: XXXX	CHECKED BY: XXXX
	1807.04	
A101		BID / PERMIT SET

11 ELEVATION COMMUNITY CENTER TOILET
1/2" = 1'-0" REF: 7 / A105

9 ELEVATION COMMUNITY CENTER TOILET
1/2" = 1'-0" REF: 7 / A105

7 PLAN KITCHEN/TOILET - COMMUNITY CENTER NEW WORK
1/4" = 1'-0"

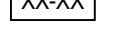
10 ELEVATION COMMUNITY CENTER TOILET
1/2" = 1'-0" REF: 7 / A105

8 ELEVATION COMMUNITY CENTER KITCHEN
1/2" = 1'-0" REF: 7 / A105

6 PLAN KITCHEN/TOILET - COMMUNITY CENTER DEMO
1/4" = 1'-0"

5 ELEVATION COMMUNITY CENTER - SIDE, RIGHT
1/8" = 1'-0" REF: 1 / A105

4 ELEVATION COMMUNITY CENTER - SIDE, LEFT
1/8" = 1'-0" REF: 1 / A105

ELEVATION LEGEND		FLOOR PLAN LEGEND		GENERAL NOTES - DEMOLITION		
	MR: PAPER-FACED MOISTURE RESISTANT GYPSUM BOARD		PGB: PAPERLESS BOARD		REFERENCE ELEVATION (SEE PROJECT MANUAL FOR PHOTOS) VIEW NUMBER SHEET NUMBER	A. REFER TO MEP DRAWINGS FOR ADDITIONAL SCOPE OF DEMOLITION WORK. B. EXISTING VIT FLOOR FINISH IS TO REMAIN U.N.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
	FRP (BASE BID) WALL TILE (ALTERNATE)				WINDOW TYPE - EXISTING WINDOWS AT COMMUNITY CENTER TO REMAIN	C. MAINTAIN AND PROTECT EXISTING INTERIOR DOORS AND CASING, U.N.O. D. REMOVE EXISTING RUBBER BASE WITHOUT DAMAGE TO SUBSTRATE & PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE. E. ANY DAMAGE TO EXISTING WORK OR FINISHES SHALL BE REPAIRED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
NOTES: 1. MR and PGB LOCATIONS ARE FOR AREAS WHERE EXISTING GYPSUM BOARD IS BEING REPLACED FOR INSTALLATION OF NEW FIXTURE OR IN POOR CONDITION. SEE NOTE CODED NOTE 30 AND GENERAL NOTES. 2. AT ALL DWELLING UNITS AND COMMUNITY BUILDING: REPLACE AT ALL DWELLING UNITS AND COMMUNITY BUILDING: REPLACE AT ALL KITCHEN WALLS BEHIND WALL CABINETS AND BACKSPLASH AREA (EXTENTS AS SHOWN). REPLACE GYPSUM BOARD BEHIND BATHROOM VANITIES AND WALL HUNG LUGS. 3. AT TUBS AND SHOWERS REPLACE GYP. BOARD SUBSTRATE WHERE TUBS AND SHOWERS ARE BEING REPLACED.					DOOR TYPE REQUIRED 30"x52" WHEELCHAIR CLEARANCE, 32" CENTERED AT SINKS AND APPLIANCES.	F. U.N.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, WALL BASES, ETC.) FROM EXISTING WALLS WHERE NEW FINISHES ARE NOTED. G. EXISTING TILE FLOORING (BASE AND WALLPAPER FINISH IN VESTIBULE TO REMAIN (VESTIBULE NOT IN CONTRACT)). H. CONTRACTOR SHALL VERIFY ALL CONDITIONS & DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND CONTRACT DOCUMENTS. I. DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH WORK. J. REMOVE ALL EXISTING WINDOW TREATMENTS.
GENERAL NOTES - EXTERIOR ELEVATIONS 1. REFER TO PHOTO SHEETS INCLUDED IN PROJECT MANUAL FOR ADDITIONAL INFORMATION ON EXTERIOR WORK AT BUILDINGS. 2. AT ALL BUILDINGS: CLEAN, PREP AND PAINT ALL EXPOSED ELECTRIC AND GAS METERS, LINES ETC. FIELD VERIFY EXACT LOCATIONS IN THE FIELD.		 EXISTING 1 HOUR FIRE RATED WALL NOTE: THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE-RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALL WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRESTOPPED.				K. ALL FURNITURE AND EQUIPMENT IN COMMUNITY BUILDING TO BE REMOVED BY OWNER PRIOR TO ANY WORK IN COMMUNITY BUILDING.

3 ELEVATION COMMUNITY CENTER - REAR
1/8" = 1'-0" REF: 1 / A105

2 ELEVATION COMMUNITY CENTER - FRONT
1/8" = 1'-0" REF: 1 / A105

1 PLAN COMMUNITY CENTER
1/8" = 1'-0"

GENERAL NOTES - FLOOR PLAN

A. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH EXISTING CONSTRUCTION DOCUMENT PHOTOGRAPHS & SPECIFICATIONS INCLUDING THE GENERAL MANUAL, THE SPECIFICATIONS, AND THE SCHEDULES. THIS DRAWING ILLUSTRATES THE SCOPE OF WORK REQUIRED FOR THE EXTERIOR OF THE BUILDING ALONG WITH NOTES AND DETAILS INCLUDED IN THE DRAWINGS. ALL WORK IS TO BE TO THE TOP OF CYSPINUM CURB OR FINISH, UNLESS ALL EXISTING DIMENSIONS ARE TO BE TO ALIENSIDE OF STRUCTURE. CONTRACTOR IS TO FIELD VERIFY ALL MEASUREMENTS.

B. ALL EXISTING MATERIALS TO BE REMOVED AND REMOVAL OF ALL EXISTING LAE MATERIAL NECESSARY FOR INSTALLATION OF THE NEW WORK, UNLESS THIS, UNLESS THIS, BUT NOT LIMITED TO, KITCHEN CABINETS, SINKS, TUBS, SHOWERS, DOORS, WINDOWS, CEILING, FLOORING, ACUSTIC CEILING TILE, PLUMBING FIXTURES, PLUMBING & ELECTRICAL DEVICES.

C. REFER TO SPECIFICATIONS FOR FLOOR TYPE INFORMATION.

D. IN BAY AREA, INCLUDE UNIT COST FOR REPLACING FLOOR UNDERLAYMENT SEE SPECIFICATIONS.

E. IN BAY SIDE, INCLUDE UNIT COST FOR REPLACING SUBFLOOR. SEE SPECS FOR DETAILS. REMOVE ALL EXISTING FLOORING, INCLUDING UNWARRANTED DURING CONSTRUCTION, PENETRATION TO BE FIRESTOPPED.

F. SEAL ALL ACCESSIBLE CRACKS, GAPS AND HOLES IN BUILDING ENVELOPE. SEAL ALL FLOOR & WALL CRACKS, GAPS AND HOLES. REPAIR BY PLUMBING, GAS LINES, ELEC. BOXES & OUTLETS W/ LOW VOC CAULKING.

G. SEAL ALL CRACKS, HOLES, CREVICES ON INTERIOR & EXTERIOR SURFACES TO PREVENT ENTRY BY PESTS. REPAIR ALL CRACKS, HOLES, CREVICES OF CASEWORK. ANY HOLES IN THE BACK OF CABINETS MUST BE SEALED.

H. ALL EXISTING EXTERIOR ENTRY DOORS ARE TO REMAIN. PAINT ALL EXTERIOR AND INTERIOR DOORS. REPAIR OR REPLACE ALL DOORS AS NEEDED.

I. AT COMMUNITY CENTER, FIELD VERIFY LOCATION & EXACT QUANTITIES. INCLUDE NEW HARDWARE (KNOBS, HINGES, SEALS, ETC.). REFER TO DOOR SCHEDULES FOR SPECIFICATIONS.

J. AT COMMUNITY CENTER, FIELD VERIFY LOCATION & EXACT QUANTITIES. INCLUDE ALL EXISTING WINDOW SYSTEMS AT COMMUNITY CENTER ARE TO BE REPLACED, UNLESS N.O. REPLACE WITH NEW ENERGY-STAR RATED WINDOW SYSTEMS. SEALS & HINGES TO BE REPLACED. REPAIR OR REPLACE ALL EXISTING WINDOW HARDWARE IN COMMON AREAS TO BE REMOVED AND REPLACED WITH NEW LEVER-TYPE HARDWARE. TYPICAL.

K. NATIONAL HALL, REPAIR OR REPLACE ALL WALLS AND CEILINGS IN OFFICE PORTION OF COMMUNITY CENTER.

L. NEW FLOORING AND BASE THROUGHOUT OFFICE PORTION OF COMMUNITY CENTER. EXISTING FLOORING IN TUBS AND STORAGE ROOM TO REMAIN. SEE SCHEDULES FOR SPECIFICATIONS.

M. REFER TO PROJECT, PROJECT DETAILS SHEETS FOR FIXTURE MOUNTING HEIGHT SCHEDULE AND ACCESSIBILITY DETAILS.

N. REFER TO PROJECT, PROJECT DETAILS SHEETS FOR REPLACE WITH NEW PER DRAWINGS AND SPECS. TYPICAL AT ALL PUBLIC TOILETS.

O. NEW ENERGY STAR RATED REFRIGERATOR AT KITCHEN PER DRAWINGS & SPECS. SE. NEW TREATMENT BURNERS AND WINDOW SINKS AT ALL WINDOWS. FIELD VERIFY SIZE & QUANTITY.

P. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL WORK TO BE DONE. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR TRUCK/CONTRACTOR.

Q. ALL PLUMBING FIXTURES IN COMMON AREAS TO HAVE NEW LEVER-TYPE FAUCETS. TYP.

R. WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE UNGLAZED, TYPICAL AT COMMON AREAS.

S. IN PUBLIC TOILETS WHERE WATER CLOSETS ARE REPLACED TO HAVE IN-WALL WATER CLOSING FOR INSTALLATION OF NEW WATER CLOSING GRAB BARS.

T. WHERE CYPSPINUM WALL WATER INSTALLATION, PATCHING OR REPAIR WORK IS BEING DONE, PROVIDE PAPERLESS PAPER/SPRAY BOARD P/BG BEHIND THE INSTALLATION OF TOILET SEALS. PROVIDE PAPERLESS PAPER/SPRAY BOARD IN RESTROOM CYPSPINUM BOARD (MR) ON CEILINGS WITHIN FOUR (4) FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCES, EXCEPT AT KITCHEN, WHERE WITHIN TWO (2) FEET OF ANY WATER SOURCES, TYP.

U. ALL WALLS WITH FACE OF ADJACENT EXISTING DRYWALL PATCHING, TYP.

V. ANY NEW EXTERIOR BUILDING SIGNAGE TO BE EASY TO READ WITH HIGH CONTRAST COLORS. NUMBER OF CHARACTERS TO BE DETERMINED, COORDINATE FURN. LOCATION WITH OWNER. TYPICAL ALL BUILDINGS.

CODED NOTES

NOTE: SEE PLANS, ELEVATIONS, SPECIFICATIONS AND PROJECT DETAILS SHEETS FOR ADDITIONAL INFORMATION.

1. EXISTING ASPHALT SHINGLE ROOF SYSTEM TO REMAIN. PROTECT ALL ROOFING ELEMENTS DURING ALL STAGES OF CONSTRUCTION. MODIFY SHINGLES AS NECESSARY FOR INSTALLATION OF NEW FLUES OR OTHER DEVICES. IF THE SYSTEMING IS NOT AFFECTED, PATCH AND REPAIR ROOF SYSTEM AS REQUIRED FOR NEW ADDITIONS.
2. ROOF ALTERNATE: REMOVE EXISTING ASPHALT SHINGLE ROOF SYSTEM AND REPLACE WITH NEW SHINGLE ROOF SYSTEM. PROVIDE NEW FLASHING, DRAIN, ROOF CUT, GUTTER AND DRAINAGE TO MATCH EXISTING.
3. EXISTING WINDOW SYSTEM AT COMMUNITY CENTER TO REMAIN. PROVIDE AND INSTALL NEW WINDOW TREATMENTS. REFER TO FLOOR PLAN FOR WINDOW SIZES. SPECIFICATIONS TO BE DETERMINED.
4. CLEAN & PREP EXISTING HWY EXTERIOR DOORS & FRAME AT COMMUNITY CENTER. PAINT ALL EXISTING DOORS & FRAMES. TYP. FIELD VERIFY EXACT EXISTING DOOR TO DOOR LOCATIONS.
5. EXISTING COVERED ENTRY WITH CONCRETE SLAB ON GRADE TO REMAIN. NEW GUTTERS, DOWNSPOUTS AND ALUMINUM SOFFITS SYSTEM ON ALL BUILDINGS. REMOVE LEAF AND BRANCHES FROM ALL BUILDINGS.
6. NEW VINYL SIDING / TRIM. REPLACE ALL DETERIORATED SHEATHING. CLEAN & PREP SURFACE TO RECEIVE NEW PAINT ON ALL PORCH COOLUMNS AND DOOR LANDING. PAINT ALL BUILDINGS.
7. CLEAN & PREP EXISTING STUCCO FOR NEW PAINT.
8. CLEAN & PREP ALL EXISTING GABLE VENTS FOR NEW PAINT.
9. REMOVE SOFFIT VENTS.
10. EXISTING INTERIOR PARTITION AND DOOR TO BE REMOVED, WHERE WALL IS REMOVED, CLEAN SUBSTRATE & PREPARE SURFACES TO RECEIVE NEW FINISH. SEE FINISH SCHEDULE.
11. REMOVE EXISTING DOOR & FRAME, NEW DOOR & FRAME PER SCHEDULE.
12. EXISTING MECHANICAL ROOM. REFER TO MEP DWGS FOR WORK IN MECHANICAL ROOMS.
13. REMOVE EXISTING CASEWORK, NEW CABINETS PER SPECS, TYP. FIELD VERIFY EXACT SPECS.
14. NEW QUARTZ COUNTERTOP WITH EASED EDGES AND UNDERMOUNT SINK. COUNTERTOP TO BE 34" MAX. A.F.F. PROVIDE SUPPORT AS REQUIRED AT OPEN WORK AREA.
15. EXISTING KITCHEN SINK TO BE REMOVED AND RELOCATED. NEW KITCHEN SINK. COUNTERTOP STYLE / TYPE PER SPECS. TYP. SINK RIM AT 34" MAX. A.F.F. PROVIDE VALANCE AT SINK LOCATION TO PROTECT PLUMBING PIPING AND ACCESSIBLE CLEARANCES. SEE PLUMBING DRAWINGS.
16. NEW STAINLESS STEEL, ENAMEL FINISH SINK PER SPECS.
17. NEW TILE BACKSLASH, TYP. FIELD VERIFY EXACT SPECS.
18. FINISHED END PANEL, TYP.
19. EXISTING WALL USING SINK WITH BACKSLASH AND EASED EDGES. REMOVE EXISTING AND INSTALL NEW SINK AFTER INSTALLING A NEW CONCEALED FLOOR AND STUD-BRACED CARRIER. INSTALL MR. GYB PD, PIPE PROTECTION, WALL AND FLOOR LEVER. REFER TO NEW SPECIFICATIONS. SINK RIM COUNTERTOP TO BE 34" MAX. A.F.F.
20. REMOVE EXISTING GRAB BARS. PATCH AND REPAIR WALLS AS REQUIRED FOR NEW GRAB BARS.
21. NEW SOAP DISPENSER.
22. NEW WALL-MOUNTED MIRROR, CENTERED ON SINK.
23. NEW PAPER TOWEL DISPENSER, CENTERED ON SINK.
24. NEW TOWEL PAPER HOLDER.
25. NEW SANITARY NAPKIN DISPOSAL.
26. NEW ROSEWOOD ON TOWEL ROOM SIDE OF TOILET DOOR.
27. NEW BABY CHANGING TABLE.
28. GRAY CHART REPRESENTS THE LOCATION & EXTENT OF PLYFORM CYCLISM DURING CONSTRUCTION. CROSS-HATCHED REPRESENTS THE LOCATION & EXTENT OF PLYFORM MOISTURE RESISTANT GYPSUM BOARD. REFER TO GENERAL NOTES FOR MORE INFORMATION.
29. REMOVE AND REINSTALL CEILING TLGS AS REQUIRED TO INSTALL NEW DUCT.
30. NEW, SEE MEP DRAWINGS.
31. EXISTING LINE OF CEILING / STRUCTURE ABOVE, TYP.
32. NEW THROUGH-WALL RENT DROP AJDOWN TO OFFICE ENTRY DOOR.
33. COORDINATE FIRM, LOCATION TO OWNERS.

#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

**THE MEADOWS RAD
RENOVATIONS**
4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43110
FOR
**COLUMBUS METROPOLITAN HOUSING
AUTHORITY**



300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

Moody Nolan FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:
**OVERALL PLAN -
COMMUNITY CENTER**



08/14/2025	
DRAWN BY:XXX	CHECKED BY:XXX
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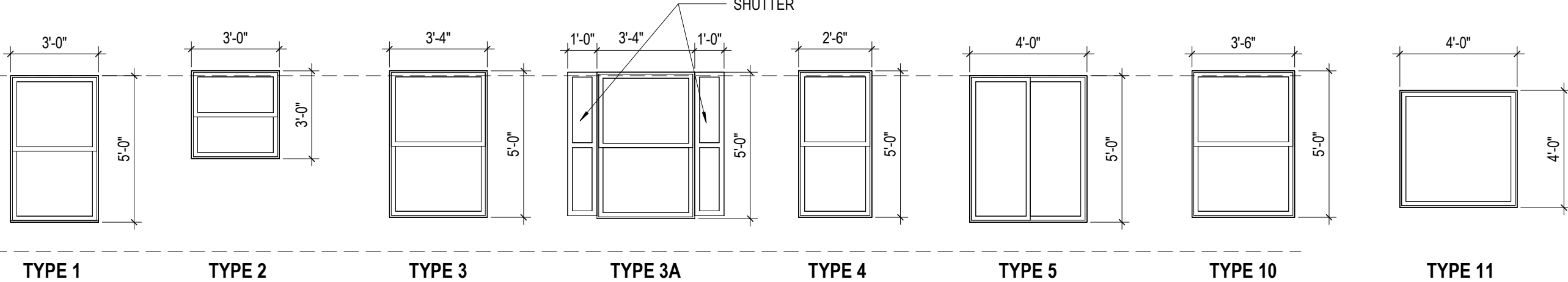
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BID / PERMIT SET

WINDOW SCHEDULE				
TYPE MARK	WIDTH	HEIGHT	MODEL	COMMENTS
1	3'-0"	5'-0"	SINGLE HUNG	
2	3'-0"	3'-0"	SINGLE HUNG	
3	3'-4"	5'-0"	SINGLE HUNG	
3A	3'-4"	5'-0"	SINGLE HUNG	SHUTTERS (RAISED PANEL, VINYL)
4	2'-6"	5'-0"	SINGLE HUNG	
5	4'-0"	5'-0"	SLIDING	
10	3'-0"	5'-0"	SINGLE HUNG	
11	4'-0"	4'-0"	FIXED	@ COMMUNITY CENTER CLEARSTORY
14	8'-10"	5'-6"		

NOTE: CONTRACTOR IS TO FIELD VERIFY ALL WINDOW SIZES, TYPES AND QUANTITIES.

WINDOW TYPE LEGEND



TYPICAL RESIDENTIAL DOOR SCHEDULE									
MARK	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	ELEV.	MATERIAL	ELEV.	FIRE RATING	HW SET
A	UNIT ENTRY	3'-0"	6'-8"	ST	C	WD	2	-	U1
B	PATIO ENTRY	3'-0"	6'-8"	ST	A	WD	2	-	U1
C	SHED	3'-0"	6'-8"	ST	A	WD	2	-	U3
D1	DINING ROOM	2'-8"	6'-8"	EX WD	A	EX WD	1	1 HR	U2
D2	CLOSET / LINEN	2'-8"	6'-8"	EX WD	A	EX WD	1	-	U5
D3	BEDROOM / BATH	2'-8"	6'-8"	WD	A	WD	1	-	U4
E1	CLOSET	3'-0"	6'-8"	WD	A	WD	1	-	U5
E2	BEDROOM / BATH (ACC)	3'-0"	6'-8"	WD	A	WD	1	-	U4
F	MECH.	2'-4" PR	6'-8"	EX WD	HH	EX WD	3	-	U6
G	CLOSET / PANTRY / LINEN	1'-8"	6'-8"	EX WD	A	EX WD	1	-	U5
H	LAUNDRY	2'-6" PR	6'-8"	EX WD	HH	EX WD	3	-	U6
I	CLOSET	3'-0" PR	6'-8"	EX WD	AA	EX WD	3	-	U7
J	CLOSET	2'-6" PR	6'-8"	EX WD	AA	EX WD	3	-	U7
K	GARAGE	6'-0"	7'-0"	ST	OH3	MTL	6	-	U8
L	CLOSET / PANTRY / LINEN	2'-4"	6'-8"	EX WD	A	EX WD	1	-	U5
M	LINEN	2'-0"	6'-8"	WD	A	WD	1	-	U5

GENERAL NOTES:

- ALL DOOR WIDTHS IN OCCUPIED ROOMS OF ALL BUILDINGS TO BE 32" CLEAR MINIMUM.
- ALL FULL AND HALF LITE EXTERIOR ENTRANCE DOORS TO RECEIVE 1" MINI-BLINDS.
- REMOVE EXTERIOR STORM DOORS AT ALL UNIT ENTRY DOORS.
- NEW STEEL DOOR AT ALL UNIT ENTRY DOORS (FRONT & REAR); NEW ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS, PROVIDE A SECOND DOOR VIEWER AT 48" A.F.F. PROVIDE NEW HARDWARE, TYPICAL.
- NEW ROBE HOOK ON THE DOOR OF BATHS. HOOK TO FACE SIDE OF TOILET AREA.
- ST = STEEL, WD = WOOD, MTL = METAL, EX = EXISTING.
- NEW DOOR STOPS AT ALL UNIT INTERIOR DOORS.
- ALL HARDWARE IN UNIT TO BE LEVER-TYPE AND WITHIN ACCESSIBLE REACH RANGES. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFO.
- PROVIDE NO-STEP ENTRY (1/2" OR LESS THRESHOLD) AT ALL ANSI TYPE A ENTRY DOORS.
- ANSI TYPE A UNITS PROVIDE INTERIOR DOOR THRESHOLD OF 1/4" MAX. BEVELED OR FLUSH.
- AT ALL UNIT INTERIOR DOORS THAT ARE TO REMAIN (EXCEPT BI-PASS DOORS), PROVIDE NEW LOCKSET WITH LEVER HANDLE ALL OTHER HARDWARE TO REMAIN

GENERAL NOTES - DOOR SCHEDULE

A. THE TYPICAL RESIDENTIAL DOOR SCHEDULE ON THIS SHEET REPRESENTS A GENERIC DOOR SCHEDULE THAT IS APPLICABLE TO ALL UNITS IN THE PROJECT IDENTIFIED BY ROOM NAMES.

B. TYPICAL EXISTING UNIT ENTRY DOORS ARE HOLLOW METAL DOORS WITH WD FRAME.

C. EXISTING BI-FOLD DOORS ARE TO REMAIN. NEW BI-FOLD DOORS ARE NOT BEING PROPOSED FOR MISSING LOCATIONS.

D. ALL NEW INTERIOR DOORS ARE SOLID CORE DOORS PER SPECIFICATIONS, U.N.O.

E. REFER TO SPECIFICATIONS FOR HARDWARE SETS.

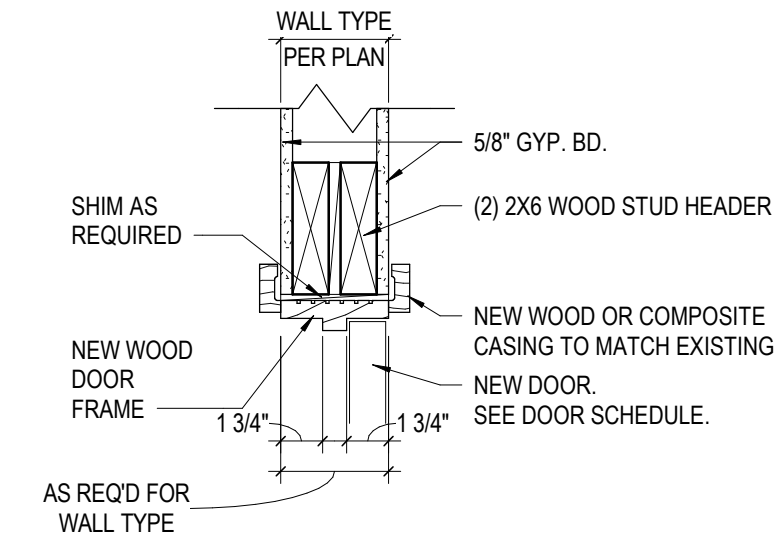
F. REFER TO FLOOR PLANS FOR QUANTITY OF DOORS BEING REPLACED.

G. NEW DOORS TO MATCH EXISTING DOORS SIZES, U.N.O. FIELD VERIFY ALL SIZES AND QUANTITIES.

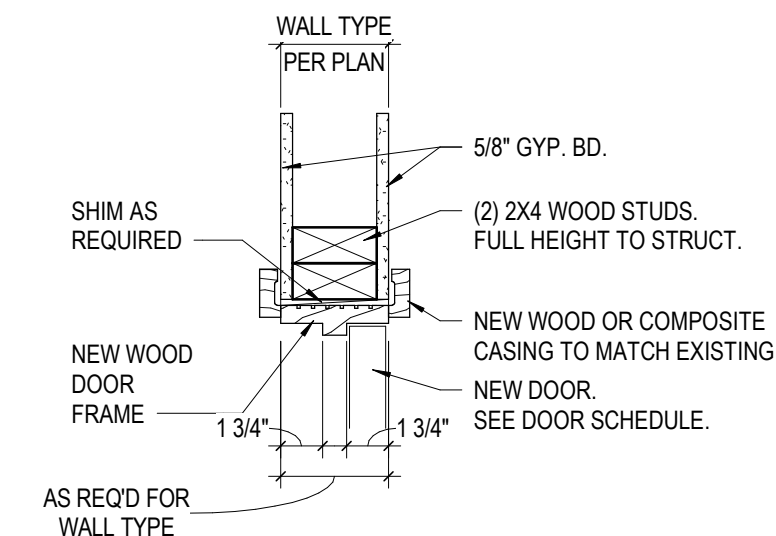
H. REMOVE EXISTING AND INSTALL NEW WEATHER STRIPPING AT UNIT ENTRY DOORS.

INSULATION NOT REQUIRED ON UNIT EXTERIOR MAN DOORS AT GARAGES.

COMMUNITY CENTER DOOR SCHEDULE									
MARK	DOOR TYPE	WIDTH	HEIGHT	MATERIAL	ELEV.	MATERIAL	ELEV.	FIRE RATING	HW SET
AC	MAIN ENTRY	3'-0" PR	7'-0"	EX AL	BB	EX AL	5	-	10
CC	EGRESS	3'-0"	7'-0"	EX HM	B	EX HM	2	-	09
DC1	EXTERIOR (MECH)	3'-0"	7'-0"	EX HM	A	EX HM	2	-	07
DC2	EXTERIOR (CONF RM)	3'-0"	7'-0"	HM	A	HM	2	-	04
EC	PROP. STORAGE	3'-0" PR	7'-0"	EX HM	AA	EX HM	4	-	08
FC1	OFFICE / CORRIDOR	3'-0"	7'-0"	EX WD	G	EX HM	2	-	03
FC2	OFFICE / CORRIDOR	3'-0"	7'-0"	EX WD	G	EX HM	2	-	01
GC	CLOSET	2'-8"	7'-0"	EX WD	A	EX HM	1	-	05
HC	MECHANICAL	3'-0"	7'-0"	EX WD	A	EX HM	1	1 HR	06
JC	TOILET	3'-0"	7'-0"	EX WD	A	EX HM	1	-	02

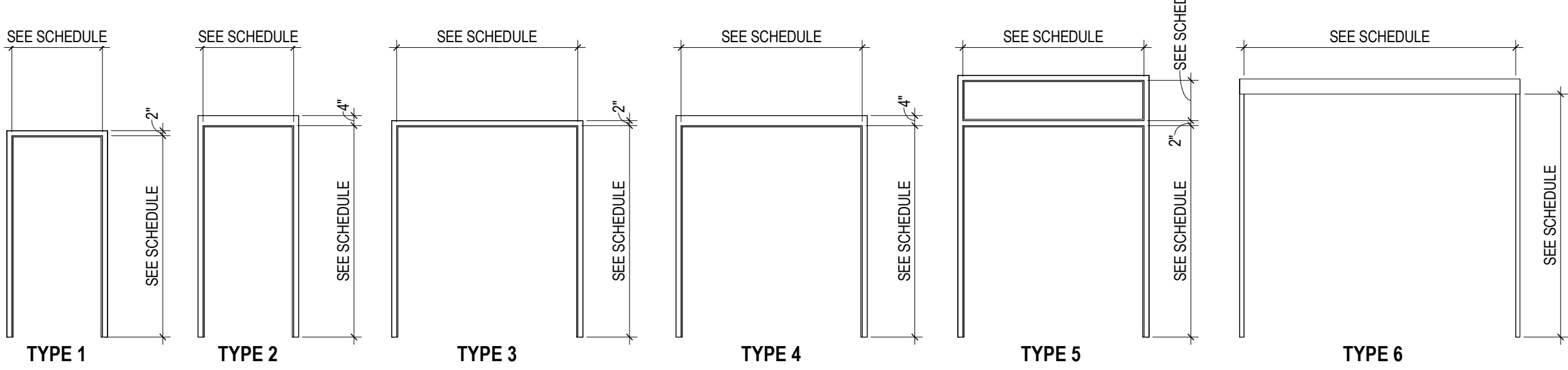


2 DETAIL HEAD - INTERIOR WOOD DOOR
1 1/2" = 1'-0"

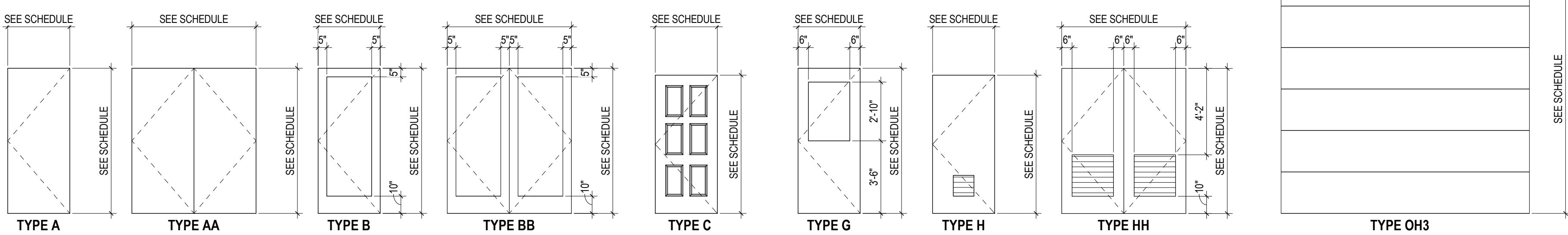


1 DETAIL JAMB - INTERIOR WOOD DOOR
1 1/2" = 1'-0"

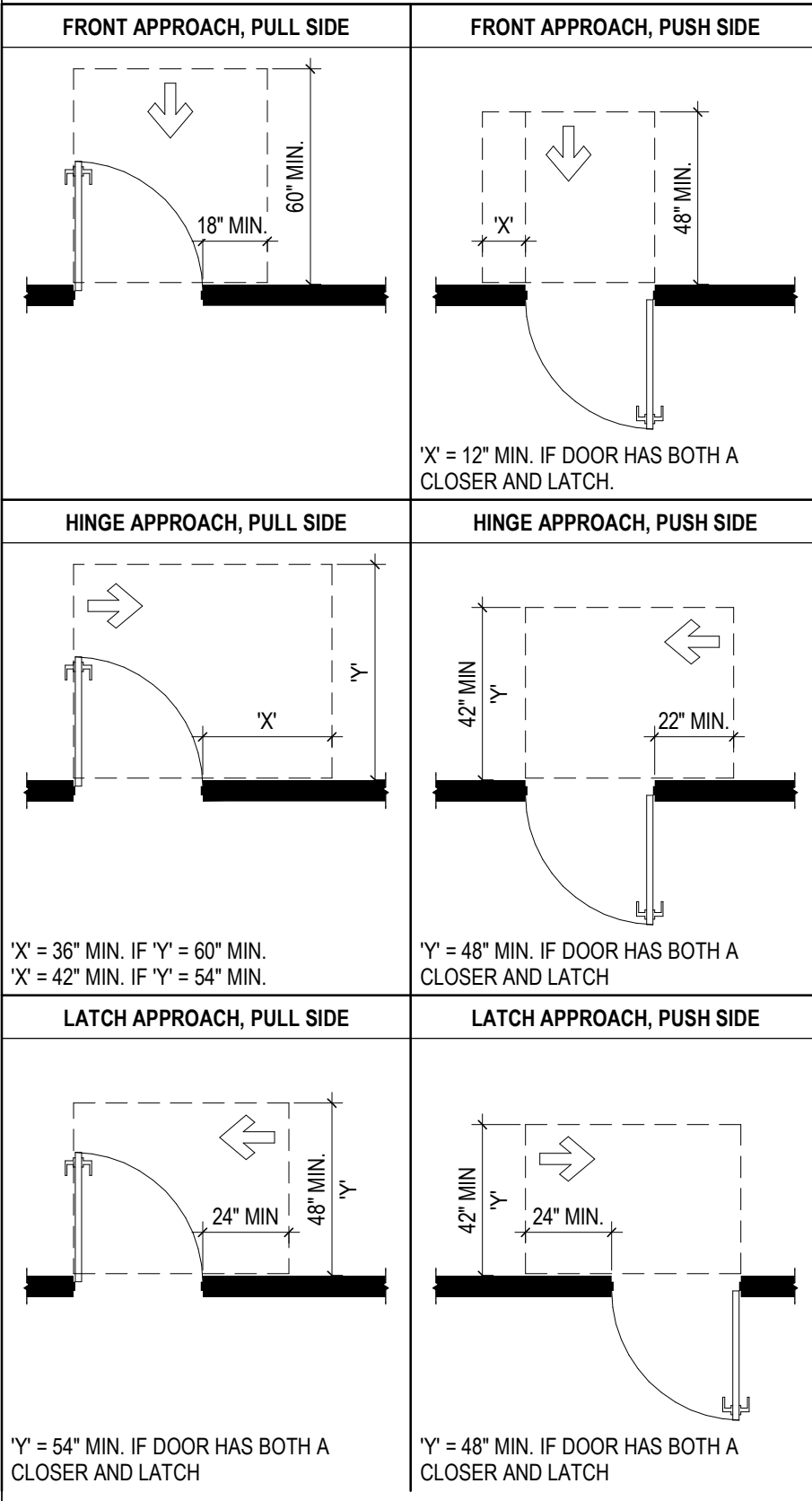
DOOR FRAME TYPE LEGEND



DOOR PANEL TYPE LEGEND



DOOR CLEARANCES



#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

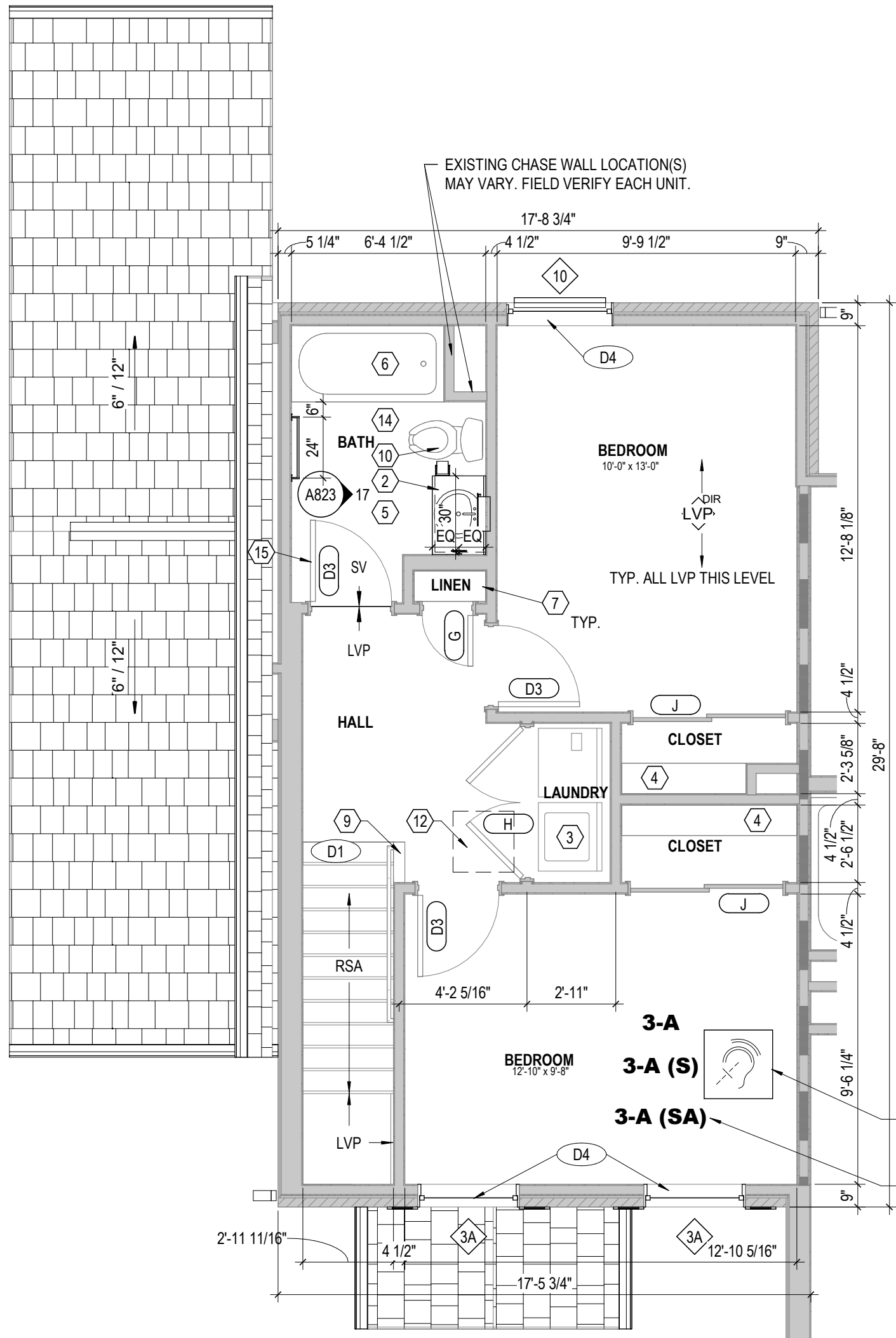
THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
COMMUNITY. COLLABORATION. COLLABORER.
4855 PINTAIL CREEK DRIVE
COLUMBUS, OH 43110
FOR COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

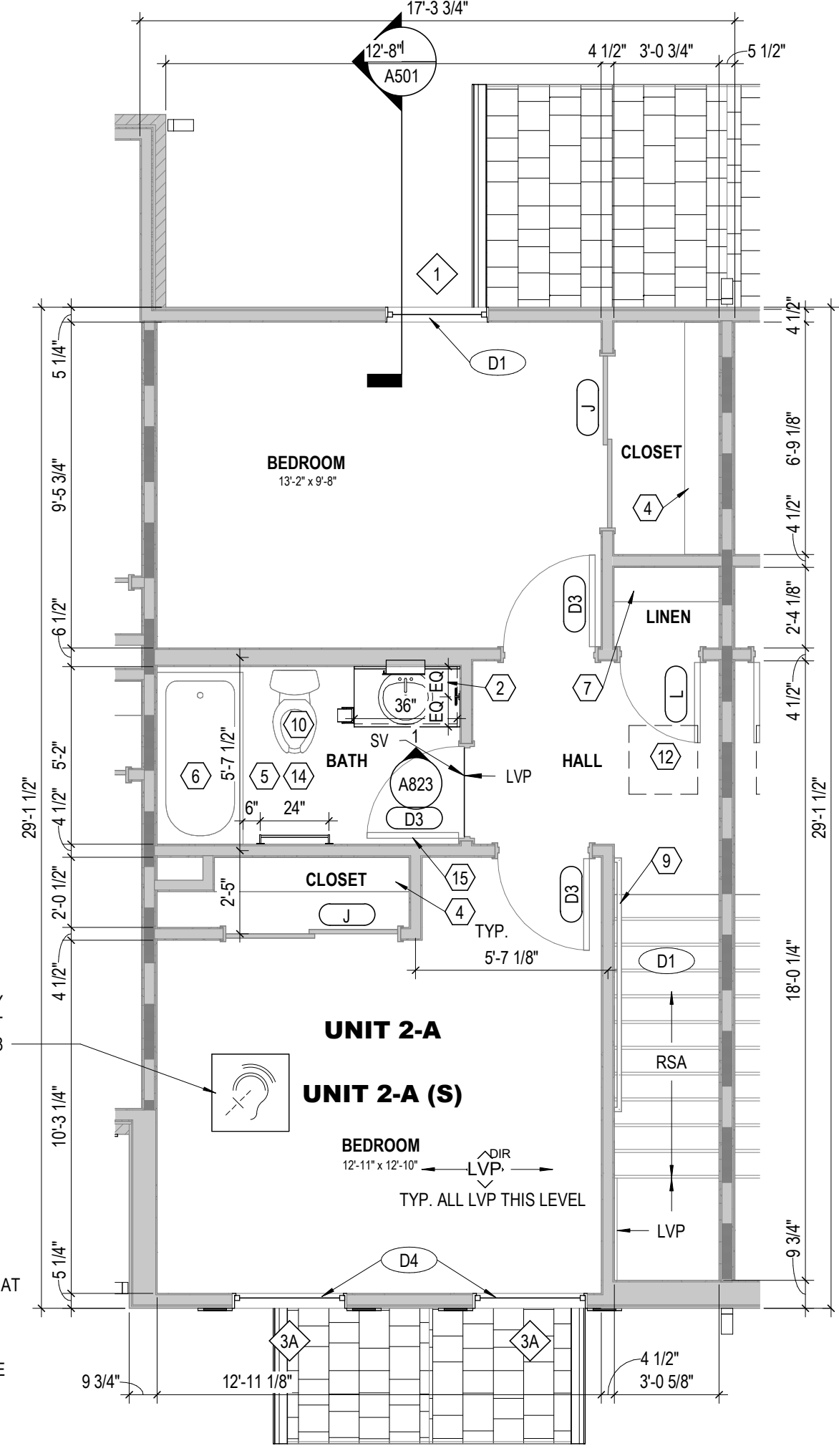
DOOR & WINDOW SCHEDULES

STATE OF OHIO
JAY W. BOONE
REGISTERED ARCHITECT
10740
JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025

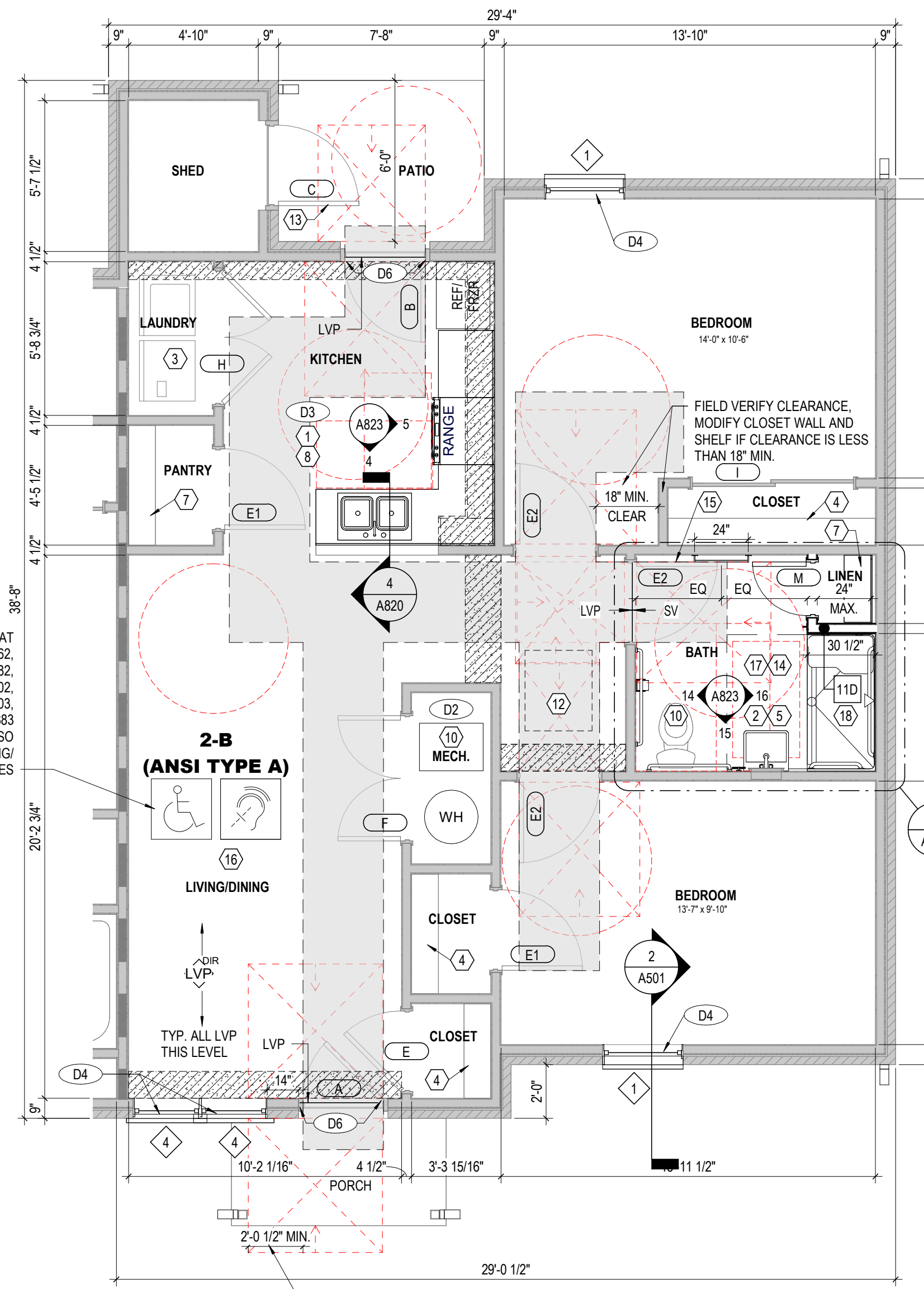
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DRAWN BY: XXXX
CHECKED BY: XXXX
18076.04
A701
BID / PERMIT SET



6 PLAN SECOND FLOOR PLAN - UNIT 3-A - (BLDG. TYPES I, II, III, V)
 1/4" = 1'-0"



4 PLAN SECOND FLOOR PLAN - UNIT 2-A - (BLDG. TYPES I, II, III, V)
 1/4" = 1'-0"



1 PLAN FIRST FLOOR DEMO PLAN - UNIT 2-B (ANSI TYPE A) - (BLDG. TYPE VI)
 1/4" = 1'-0"

GENERAL NOTES - UNIT PLANS

- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN ALL RESIDENTIAL BUILDINGS (6 UNITS). U.O. REFER TO OVERALL FLOOR PLANS FOR GENERAL NOTES AND ADDITIONAL INFORMATION. UNIT ORIENTATION MAY VARY DEPENDING ON LOCATION OF UNIT ON SITE. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.
- REFER TO MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD WHERE NEW WALL CONSTRUCTION IS NOTED. U.O.
- REFER TO SHEET 0001 FOR UNIVERSAL DESIGN FEATURES THAT HAVE BEEN INCORPORATED IN THE PROJECT.
- NEW WALLS ARE 2x4 WOOD FRAMING U.O. REFER TO SHEET 0001 FOR WALL TYPE SCHEDULE.
- AT ALL BASEBOARDS IN EVERY ROOM, SEAL ALONG EXTERIOR WALLS TO REDUCE AIR LEAKAGE.
- IN BASE BID, CONTRACTOR IS TO INCLUDE UNIT COST FOR PATCH & REPAIR OF 32 SF OF GYPSUM BOARD PER UNIT. SEE SPECIFICATIONS.
- IN BASE BID, INCLUDE UNIT COST FOR REPLACING SUBFLOOR. SEE SPECIFICATIONS.
- IN BASE BID, INCLUDE UNIT COST FOR REPLACING INTERIOR UNDERLAYMENT. SEE SPECIFICATIONS.
- AT ALL UNITS, CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING HANDRAILS AT INTERIOR STAIRS, SECURELY ATTACH ANY LOOSE RAILS.
- ADD 1x6 WOOD BLOCKING BEHIND BRACKETS SUPPORTING INTERIOR STAIR HANDRAILS. REINSTALL RAILS.
- CONTRACTOR TO WALK ENTIRE UNIT TO IDENTIFY AREAS W/ SQUEAKY FLOOR, LOOSE TREADS, ETC. IN AREAS IDENTIFIED, WOOD SUBFLOORING TO BE SCREWED TO JOISTS BEFORE FINISHED FLOOR IS INSTALLED.
- IN ANSI TYPE A BATHS, WHERE SHOWERS AND WATER CLOSURES ARE REPLACED, PROVIDE AND INSTALL IN-WALL WOOD BLOCKING FOR INSTALLATION OF GRAB BARS. GRAB BARS WILL BE INSTALLED AT ANSI TYPE A UNITS AS A PART OF THIS PROJECT. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION. COORDINATE LOCATION OF BLOCKING WITH GRAB BAR REQUIREMENTS OF ICC A117.1-2017. REFER TO MEP DRAWINGS. SEE DETAILS FOR EXACT LAYOUT OF SHOWER BLOCKING.
- PROVIDE WOOD BLOCKING NOT SHOWN OR SHOWN AS REQUIRED TO MOUNT MILLWORK, MEP DEVICES AND ALL FIXTURES.
- EXISTING TUBS, SURROUNDS AND MIRROR/ED MEDICINE CABINETS TO REMAIN. U.O. CLEAN ALL TUBS, SURROUNDS & RE-CAULK ALL JOINTS. TYP.
- SEAL ALL CRACKS, HOLES, CREVICES ON INTERIOR & EXTERIOR SURFACES TO PREVENT ACCESS BY PESTS. INCLUDING ANY PENETRATIONS IN THE BACK OF CASEWORK. HOLES IN THE BACK OF CABINETS MUST BE SEALED.
- ALL EXISTING WINDOW SYSTEMS IN RESIDENTIAL BUILDINGS TO BE REPLACED. U.O. REPLACE WITH NEW ENERGY-RATED WINDOW SYSTEM PER SPECS & DETAILS. CAULK STRIP ALL WINDOW INSTALLATIONS.
- EXISTING UNIT ENTRY DOORS (FRONT & REAR) TO BE REPLACED WITH NEW. INSULATED STEEL DOORS. ALL NEW FRONT ENTRY DOORS TO HAVE ONE DOOR VIEWER. AT ANSI TYPE A UNITS, PROVIDE ADDITIONAL SECOND DOOR VIEWER AT 48" A.F.F. ALL EXISTING UNIT INTERIOR BEDROOM & BATH DOORS, FRAMES TO BE REPLACED WITH SOLID CORE DOORS OF MATCHING SIZE. U.O. BUILDINGS. PROVIDE NEW LEVER-TYPE HARDWARE AT ALL DOORS (LOCKSET, HINGES, SEALS, ETC.). PROVIDE WALL MOUNTED DOOR STOPS AT ALL SLIDING DOORS. REFER TO DOOR SCHEDULE AND SPECS FOR ADDITIONAL INFO.
- UNIT KITCHEN BASE BID: NEW FRP BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET. TYP. SEE KITCHEN ELEVATIONS. FIELD VERIFY EXACT SIZES.
- UNIT KITCHEN ALTERNATE: NEW TILE BACKSPLASH AT KITCHEN WALL, FULL HEIGHT BETWEEN TOP OF BACKSPLASH TO UNDERSIDE OF WALL CABINET. TYP. FIELD VERIFY EXACT SIZES.
- PROVIDE 2" X 2" HIGH COVE BASE AT ALL BATHTUB FLOORING INTERFACE. INSTALL AFTER FLOORING IS IN PLACE.
- REMOVE EXISTING BATH ACCESSORIES AND REPLACE WITH NEW PER DRAWINGS AND SPECS. TYPICAL AT ALL UNIT BATHS.
- ADD 1x6 PAINTED WOOD TRIM WITH BEVELED EDGES ON OUTSIDE OF WALL AT ALL TOWEL BAR AND TOILET PAPER HOLDER LOCATIONS.
- ALL UNITS: PAINT EXISTING COAT RODS AND SHELVES IN ALL CLOSETS. PAINT ALL SHELVES AT LINEN CLOSETS. TYP. WHERE NEW SHELVING IS NOTED ON PLAN, PROVIDE WIRE SHELVING PER SPECS. SEE MOUNTING HEIGHTS SCHEDULE FOR ADDITIONAL INFORMATION.
- NEW ENERGY-STAR RATED APPLIANCES AT ALL KITCHENS PER DRAWINGS AND SPECS. ALL RESIDENTIAL APPLIANCES TO BE BLACK, TYPICAL AT ALL KITCHENS.
- IN ALL UNITS, WASHER AND DRYER EQUIPMENT (S) BY THE TENANT. CLEAN ALL DRYER VENTS. INSTALL NEW DRYER VENT CAPS.
- NEW WINDOW TREATMENT (BLINDS) & HEAVY-DUTY WINDOW SCREENS AT ALL WINDOWS. FIELD VERIFY EXACT SIZE & QUANTITY.
- IN ALL UNITS, EXTEND FINISH FLOOR MATERIAL UNDER KITCHEN APPLIANCES, UNDER BASE CABINETS AND VANITY IN ALL BATHS. AT ALL VISIBLE CABINET SURFACES AND EXPOSED SIDES OF CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
- IN ALL UNITS, AT SIDES OF RANGE OR OPEN WORK AREAS BELOW THE BASE CABINETS, PROVIDE FINISH END PANEL TO MATCH ADJACENT CASEWORK.
- WATER SUPPLY AND DRAIN PIPES UNDER SINKS SHALL BE INSULATED, TYPICAL AT ALL UNITS.
- ALL PLUMBING FIXTURES IN UNITS TO BE PROVIDED WITH NEW LEVER-TYPE FAUCETS, TYPICAL.
- AT ALL ANSI TYPE A UNITS, FLUSH CONTROL FOR THE W.C. WILL BE LOCATED ON THE OPEN SIDE (AWAY FROM THE SIDE WALL).
- AT ALL ANSI TYPE A UNITS, KITCHEN SINKS SHALL INCLUDE REAR DRAINED SINKS TO ACCOMMODATE DISPOSERS. AT LEAST ONE SINK BOWL SHALL NOT BE DEEPER THAN 8" X 12".
- REPLACE ALL HVAC DIFFUSERS AND GRILLES AT ALL UNITS.
- ADD AUDIO VISUAL ALARM NOTIFICATION IN TWO PERCENT OF EXISTING UNITS THAT ARE DESIGNATED FOR PERSONS WITH SENSORY IMPAIRMENTS. ADDITIONALLY, ADD SENSORY UNIT FEATURES TO THE FIVE PERCENT OF UNITS DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- LOCATION OF EXISTING MOBILITY UNITS (S) TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS.
- CONTRACTOR TO REVIEW ATTACHMENT OF EXISTING RAILS AT INTERIOR STAIRS. INSTALL PRE-PRIMED 1x6 PINE BLOCKING HANDRAIL AT EACH STAIR TO SECURE TO WALLS.
- CONTRACTOR TO WALK ENTIRE UNIT TO IDENTIFY AREAS W/ SQUEAKY FLOOR, LOOSE TREADS, ETC. IN AREAS IDENTIFIED, WOOD SUBFLOORING TO BE SCREWED TO JOISTS BEFORE FINISHED FLOOR IS INSTALLED.
- SEAL ALL ACCESSIBLE CRACKS IN CONCRETE FLOOR SLAB WITH POLYURETHANE CAULKING.
- CLEAN CONCRETE FLOOR SLAB AT MECH/UTILITY CLOSET. CLEAN ANY CLOGGED FLOOR DRAIN, DRAIN LINE, CONDENSATE LINE.
- WHERE GYPSUM BOARD IS REPLACED, INSTALL PAPERLESS GYPSUM BOARD (PGB) BEHIND TUB/SHOWER WALLS THAT WILL NOT HAVE AN EXPOSED FINISH EXCEPT 6" BEHIND SHOWER AND TUB JAMBS. BEHIND TOILETS, THE SPACE BETWEEN A TUB/SHOWER ENCLOSURE, AND TO TOP OF TOILET TANKS. INSTALL PAPER-FACED MOISTURE-RESISTANT GYPSUM BOARD, WITHIN 4 FEET HORIZONTALLY AND VERTICALLY OF ANY WATER SOURCE (UNLESS PGB IS INSTALLED). WITHIN 4 FEET IN ANY DIRECTION BEHIND LAUNDRY, DRYER, WASHING MACHINES, WHERE NEW WASHER BOXES ARE INSTALLED, WATER HEATERS, WATER METERS, ETC., ON WALLS LESS THAN 4 FEET FROM SPRINKLER SERVICE CONTROLS AND WATER SERVICE LINES LOCATED IN SERVICE ROOMS, AND BEHIND PUBLIC DRINKING FOUNTAINS.
- CAULK AT JOINT BETWEEN WALLS AND FLOORING BEFORE INSTALLING NEW COVE BASE.
- REPLACE ALL WATER CLOSURES IN DWELLING UNITS AND OFFICE BUILDING. SEE PLUMBING DRAWINGS.
- CLEAN ALL EXISTING DRYER VENTS. SEE MEP DRAWINGS.

CODED NOTES - UNIT PLANS

- NEW, ENERGY-EFFICIENT KITCHEN APPLIANCES (REFRIGERATOR, STOVE, ETC.). SEE SPECIFICATIONS.
- AT TYPICAL UNITS, NEW CULTURED MARBLE VANITY COUNTERTOP WITH INTEGRAL BOWL & BACKSPLASH. IN ANSI TYPE A UNITS, NEW WALL-HUNG SINK WITH BACKSPLASH AND EASED EDGES. REMOVE EXISTING SINK AFTER INSTALLING A NEW CONCEALED FLOOR AND STUD-BRACED CARRIER. INSTALL MR GYP BD, PIPE PROTECTION, AND FAUCET WITH LEVER HARDWARE. TYP. SPEC. ALL BATH SINK RIMS/ COUNTERS TO BE AT 34" A.F.F. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- LOCATION OF EXISTING MOBILITY UNITS (S) TO REMAIN AND WILL BE DESIGNATED AS ANSI TYPE A UNITS. SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS. SEE MEP DRAWINGS FOR ADDITIONAL INFORMATION.
- EXISTING MIRROR/ MEDICINE CABINET TO REMAIN IN TYPICAL UNITS, CLEAN & RECAULK. EXISTING MIRROR/ MEDICINE CABINET TO BE LOWERED IN ALL ANSI TYPE A UNITS. REFER TO TYP. PROJECT DETAILS FOR ADDITIONAL INFO.
- EXISTING TUB & SURROUND TO REMAIN U.O. CLEAN TUB, SURROUND & RECAULK ALL JOINTS. SEE TYP. PROJECT DETAILS & SPECIFICATIONS. REFER TO MEP DRAWINGS FOR REPLACEMENT OF SHOWERHEADS, LIGHTS, ETC.
- CLEAN, PREP. & PAINT EXISTING ADJUSTABLE WOOD CLOSET SHELVES WHERE INSTALLED IN TYPICAL UNITS. CLEAN, REPAIR EXISTING ADJUSTABLE WIRE CLOSET SHELVING WHERE INSTALLED IN TYPICAL UNITS. INSTALL WIRE SHELVES AND RODS WHERE MISSING AND LOCATE AT ACCESSIBLE REACH RANGES IN ANSI TYPE A UNITS. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- UNIT KITCHEN BASE BID: NEW PLASTIC LAMINATE COUNTERTOP WITH RADUSED CORNERS AND DROP-IN SINK. UNIT KITCHEN ALTERNATE: NEW QUARTZ COUNTERTOP WITH EASED EDGES.
- PAINT EXISTING METAL HANDRAIL AND OR WOOD CAP (IF CURRENTLY PAINTED) AT THIS LOCATION. TYPICAL AT ALL SIM. UNITS.
- REFER TO MEP DRAWINGS FOR SCOPE OF WORK IN THIS AREA. REPAIR FRAME AS REQUIRED.
- EXISTING ATTIC ACCESS PANEL.
- PAINT EXISTING DOORS AND FRAMES AT EXTERIOR (SHED) STORAGE. TYP.
- EXISTING BATH VANITY, TOWEL BARS & TOILET PAPER DISPENSER TO BE REMOVED AND REPLACED WITH NEW.
- NEW ROBE HOOK ON TOILET SIDE OF BATH DOOR. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- ANSI TYPE A UNIT: LOWER ALL CONTROLS (THERMOSTAT, SWITCHES, ELECTRICAL PANEL, ETC.) TO BE WITHIN ACCESSIBLE REACH RANGES. REFER TO TYPICAL PROJECT DETAILS FOR ADDITIONAL INFORMATION.
- ANSI TYPE A UNIT: NEW COMPLAINT GRAB BARS AT W.C. & SHOWER IN BATHS. REFER TO INTERIOR ELEVATIONS & PROJECT DETAILS FOR ADDITIONAL INFO.
- ANSI TYPE A UNIT: NEW ROLL-IN SHOWER W/ TRENCH DRAIN, CONFIRM DIMENSIONS W/ FINAL SELECTION & MFR'S INSTALLATION INSTRUCTIONS. CONTACT ARCHITECT REGARDING DIMENSIONAL DISCREPANCIES PRIOR TO UNIT WALL DEMOLITION CONSTRUCTION, IF REQUIRED.

GENERAL NOTES - DEMOLITION

- THE FOLLOWING GENERAL NOTES APPLY TO ALL DWELLING UNITS IN THE PROJECT. U.O. (6 UNITS). REFER TO ADDITIONAL SCOPE OF DEMOLITION WORK. CONTRACTOR SHALL VERIFY ALL CONDITIONS/ DIMENSIONS PRIOR TO WORK. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS.
- EXISTING VCT FLOOR FINISH IS TO REMAIN U.O. CLEAN AND PREPARE SURFACE TO RECEIVE NEW FLOOR FINISH OVER EXISTING.
- REMOVE EXISTING RUBBER BASE IN UNITS WITHOUT DAMAGE TO SUBSTRATE AND PREPARE SURFACE TO RECEIVE NEW BASE. SEE FINISH SCHEDULE.
- ANY DAMAGE TO EXISTING WORK TO REMAIN SHALL BE REPLACED OR REPAIRED BY THE CONTRACTOR TO MATCH EXISTING SIMILAR WORK IN PLACE WHEN NEW. REPAIR ALL DAMAGED WORK IN CONNECTION WITH DEMOLITION WORK INCLUDING DAMAGE CAUSED BY REMOVAL OR INSTALLATION OF MECHANICAL OR ELECTRICAL ITEMS OR EQUIPMENT.
- WHERE WALLS ARE BEING REMOVED, FILL ALL VOIDS IN FLOORING WITH CEMENTITIOUS INFILL. FINISH FLOOR TO BE LEVEL WITH ANY ADJACENT FLOOR FINISHES.
- U.O. REMOVE ALL EXISTING WALL FINISHES (WALL COVERINGS, BASES, ETC.) FROM EXISTING WALLS. SEE PLANS FOR LOCATION AND FINISH SCHEDULE FOR ADDITIONAL INFORMATION ON NEW FINISHES.
- DO NOT CUT INTO, REMOVE OR ALTER ANY STRUCTURAL MEMBER OR PORTION OF THE FLOOR, WALL OR ROOF SYSTEM UNLESS SPECIFICALLY NOTED OR INDICATED ON THE DRAWINGS. IF UNCLEAR, CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- MAINTAIN & PROTECT EXISTING LAUNDRY EQUIPMENT (TENANT FURNISHED) IN UNITS. REMOVE & REINSTALL FOR FINISH WORK INSTALLATION.
- REMOVE EXISTING WINDOW TREATMENTS AT ALL BUILDINGS.
- AT ALL RESIDENTIAL BUILDINGS, REMOVE EXISTING WINDOWS AND PREPARE FOR INSTALLATION OF NEW WINDOW.
- REMOVE ALL EXISTING UNIT ENTRY DOORS, STORM DOORS.
- REMOVE GYPSUM BD. AT KITCHEN WALL CABINETS AND BACKSPLASH AREAS.
- REMOVE GYPSUM BD. BEHIND BATH VANITIES, WALL SINKS AND WHERE TUB/SHOWERS ARE BEING REPLACED.
- AT ALL UNITS WITH GARAGES, REMOVE EXISTING GARAGE DOOR, ALL ATTACHMENTS AND OPERATOR AND PREPARE FOR NEW DOOR AND OPERATOR.
- AT ALL DWELLING UNITS, REMOVE EXISTING CARPET FROM LIVING ROOMS AND BEDROOMS, AND PREPARE FLOOR TO RECEIVE NEW FLOOR FINISH.

GENERAL NOTES - SEMI-AMBULATORY (SA) UNIT

- PROVIDE SEMI-AMBULATORY UNITS IN FIVE PERCENT OF EXISTING UNITS THAT ARE DESIGNATED AS 'SA' (6 TOTAL UNITS). SEE SITE PLAN & OVERALL FLOOR PLANS FOR LOCATIONS.
- SEMI-AMBULATORY UNITS MUST BE DESIGNATED AS SECTION 504 MODIFIABLE PER REASONABLE ACCOMMODATION MODIFICATION.
- AT ALL UNITS DESIGNATED AS SEMI-AMBULATORY (SA), PROVIDE THE FOLLOWING: STAIRS, HOSINGS AND HANDRAILS WITH EXTENSIONS PER ANSI A117.1-2017 REQUIREMENTS, BLOCKING FOR GRAB BARS AT BATH TUB/SHOWERS AND TOILETS PER ANSI A117.1-2017 REQUIREMENTS, ACCESSIBLE PATH TO ENTRY AND THROUGH UNIT, DESIGNATED VAN ACCESSIBLE PARKING SPACE, RANGE WITH FRONT CONTROLS, KITCHEN COUNTERS AND SINK RIM AT 34" MAX. A.F.F. HARD WOOD DOORRILL AT FRONT ENTRY DOOR, REPLACE BATH TUB AND SURROUND IN ONE BATH WITH 48" MIN LENGTH CURBED SHOWER (6" HIGH) WITH CENTER DRAIN AND FULL LENGTH MIRROR IN BATH WITH TOP EDGE MOUNTED AT 77" A.F.F.

CODED NOTES - DEMOLITION

- REMOVE EXISTING RUBBER TREADS WITHOUT DAMAGE TO EXISTING SUBSTRATE. PREPARE SURFACE TO RECEIVE NEW TREADS. SEE FINISH SCHEDULE. TYPICAL ALL TOWNHOUSE STYLE UNITS.
- REFER TO MEP DRAWINGS FOR DEMOLITION WORK IN THIS AREA.
- REMOVE ALL KITCHEN BASE CABINETS AND WALL CABINETS. COUNTERTOPS, AND BACKSPLASH. PATCH ANY DAMAGE TO GYPSUM BOARD.
- REMOVE EXISTING VINYL WINDOW SYSTEM AND PREPARE SURFACE TO RECEIVE NEW WINDOW. CLEAN AND PREPARE STEEL LINTELS IN MASONRY WINDOW OPENINGS TO RECEIVE NEW PAINT. TYPICAL ALL WINDOWS.
- AT ANSI TYPE A UNIT BATHS, REVISE WALLS OF LINEN CLOSET AND DOOR SIZE TO ACCOMMODATE NEW ROLL-IN SHOWER SLAT CLEARANCES.
- REMOVE EXISTING DOOR AND FRAME, PREPARE OPENING WITH NEW BLOCKING FOR DOOR FRAME AS REQUIRED.
- REMOVE EXISTING GARAGE DOOR. REPAIR REPLACE ALL EXISTING DAMAGED DOOR FRAMES AND TRACK COMPONENTS AS REQUIRED.
- REMOVE EXISTING BATHTUB. MODIFY/ REMOVE PORTION OF EXISTING CONCRETE FLOOR TO INSTALL NEW ACCESSIBLE ROLL-IN SHOWER. EXISTING WALL-HUNG SINK TO BE REMOVED. INSTALL NEW CONCEALED FLOOR AND STUD-BRACED CARRIER TO RECEIVE SINK. PATCH AND REPAIR WALLS AS REQUIRED.

FLOOR PLAN LEGEND

- REFERENCE ELEVATION (SEE PROJECT MANUAL FOR PHOTOS)
- X
XX-XX
VIEW NUMBER
SHEET NUMBER
- 3-A**
UNIT DESIGNATION. SEE ENLARGED UNIT PLAN SHEETS
- ◇
WINDOW TYPE (NEW WINDOWS - SEE SCHEDULE SHEET A701)
- OR
FLOORING TYPE AND DIRECTION. REFER TO ENLARGED UNIT PLANS AND FINISH SCHEDULE
- X
DOOR TYPE
- ANSI TYPE A UNIT: ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- HEARING/VISUALLY IMPAIRED (SENSORY) UNIT: ALL ANSI TYPE A UNITS TO ALSO INCLUDE SENSORY UNIT FEATURES. REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFO FOR ADDITIONAL REQUIREMENTS.
- SA
SEMI-AMBULATORY (SA) UNIT: REFER TO SITE PLAN FOR LOCATIONS. LOCATE MEP EQUIPMENT AND DEVICES TO MAINTAIN CLEARANCES AS NOTED AND AS DASHED IN FLOOR PLANS. SEE MEP INFORMATION FOR ADDITIONAL REQUIREMENTS.
- REQUIRED CLEAR FLOOR AREA, CENTER AT SINKS & APPLIANCES (MEANS OF EGRESS (MIN. 36" REQUIRED))
- GYPSUM CEILING SOFFIT - EXACT SOFFIT SIZE / LOCATION MAY VARY. FIELD VERIFY EXISTING CONDITIONS PER UNIT
- EXISTING 1 HOUR FIRE RATED WALL

NOTE: THE INTEGRITY OF THE EXISTING FIRE PARTITIONS HAVE NOT BEEN VERIFIED. THE LOCATIONS FOR FIRE-RATED WALLS SHOWN ON THE PLANS INDICATES WHERE WALLS WOULD BE REQUIRED TO BE FIRE-RATED BASED UPON CURRENT CODE REQUIREMENTS. ALL NEW PENETRATIONS MADE THROUGH THESE WALLS ARE TO BE FIRE STOPPED.

#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

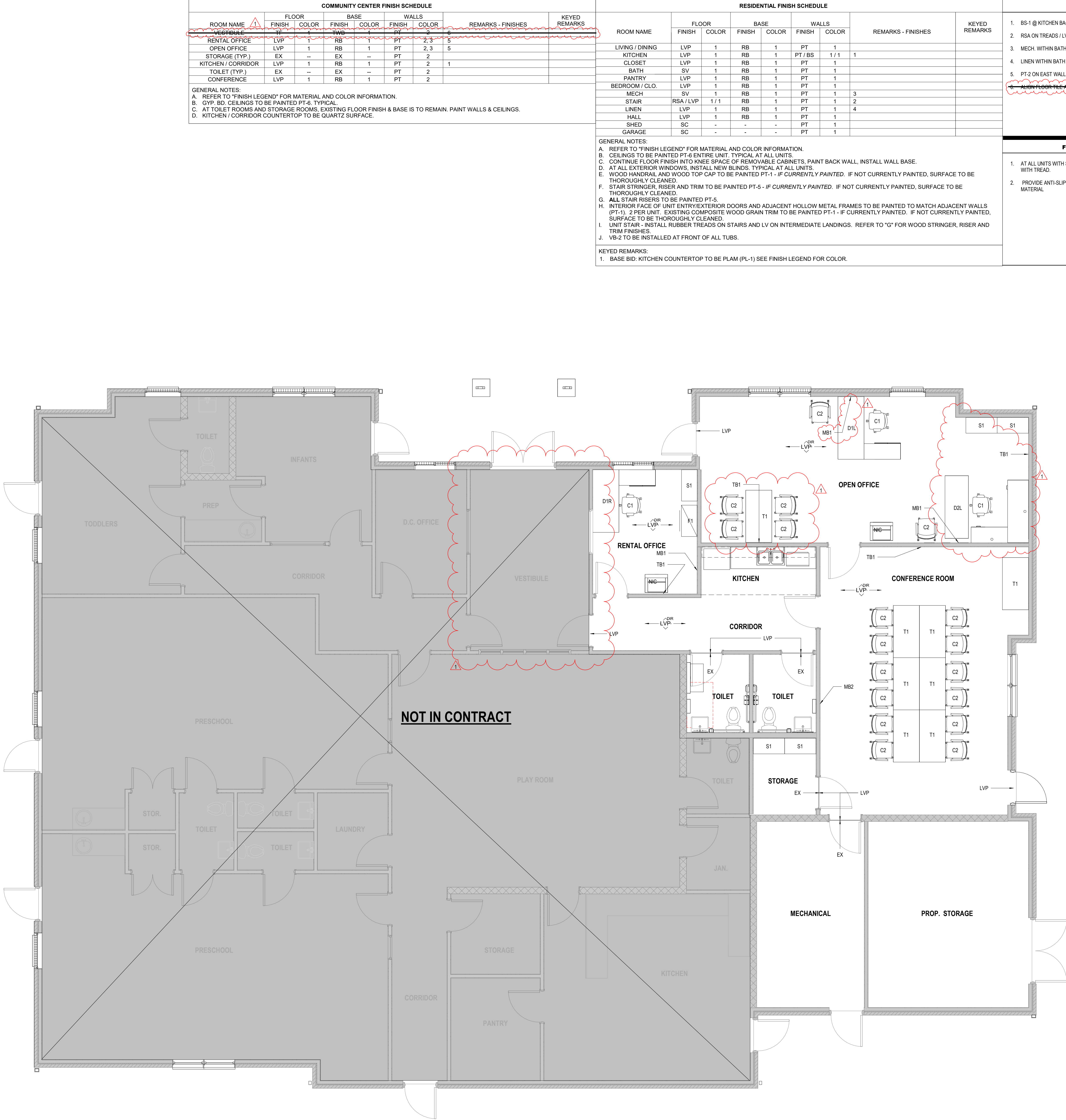
THE MEADOWS RAD RENOVATIONS
 4855 PONTIAC CREEK DRIVE
 COLUMBUS, OH 43110
 FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

Moody Nolan CERTIFICATE NO: FIRM 00197475

ENLARGED PLANS - UNIT TYPE 2-A, 2-B (ANSI-A) & 3-A

08/14/2025
 DRAWN BY: XXXX CHECKED BY: XXXX
 18076.04
A810
 JAY W BOONE, LIC. #10740
 EXP. DATE: 12/31/2025
 BID / PERMIT SET



COMMUNITY CENTER FINISH SCHEDULE							REMARKS - FINISHES	KEYED REMARKS
ROOM NAME	FLOOR	COLOR	FINISH	BASE	WALLS	WALLS		
RENTAL OFFICE	LVP	1	RB	1	PT	2, 3	5	
OPEN OFFICE	LVP	1	RB	1	PT	2, 3	5	
STORAGE (TYP.)	EX	--	EX	--	PT	2		
KITCHEN / CORRIDOR	LVP	1	RB	1	PT	2	1	
TOILET (TYP.)	EX	--	EX	--	PT	2		
CONFERENCE	LVP	1	RB	1	PT	2		

GENERAL NOTES:
A. REFER TO "FINISH LEGEND" FOR MATERIAL AND COLOR INFORMATION.
B. CEILINGS TO BE PAINTED PT-6 ENTIRE UNIT. TYPICAL AT ALL UNITS.
C. CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS, PAINT BACK WALL, INSTALL WALL BASE.
D. AT ALL EXTERIOR WINDOWS, INSTALL NEW BLINDS. TYPICAL AT ALL UNITS.
E. WOOD HANDRAIL AND WOOD TOP CAP TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
F. STAIR STRINGER, RISER AND TRIM TO BE PAINTED PT-5 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
G. ALL STAIR RISERS TO BE PAINTED PT-5.
H. INTERIOR FACE OF UNIT ENTRY/EXTERIOR DOORS AND ADJACENT HOLLOW METAL FRAMES TO BE PAINTED TO MATCH ADJACENT WALLS (PT-1). 2 PER UNIT. EXISTING COMPOSITE WOOD GRAIN TRIM TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
I. UNIT STAIR - INSTALL RUBBER TREADS ON STAIRS AND LV ON INTERMEDIATE LANDINGS. REFER TO "G" FOR WOOD STRINGER, RISER AND TRIM FINISHES.
J. VB-2 TO BE INSTALLED AT FRONT OF ALL TUBS.

KEYED REMARKS:
1. BASE BID: KITCHEN COUNTERTOP TO BE PLAM (PL-1) SEE FINISH LEGEND FOR COLOR.

RESIDENTIAL FINISH SCHEDULE							REMARKS - FINISHES	KEYED REMARKS
ROOM NAME	FLOOR	COLOR	FINISH	BASE	WALLS	WALLS		
LIVING / DINING	LVP	1	RB	1	PT	1		
KITCHEN	LVP	1	RB	1	PT / BS	1 / 1	1	
CLOSET	LVP	1	RB	1	PT	1		
BATH	SV	1	RB	1	PT	1		
PANTRY	LVP	1	RB	1	PT	1		
BEDROOM / CLO.	LVP	1	RB	1	PT	1		
MECH	SV	1	RB	1	PT	1	3	
STAIR	RSA / LVP	1 / 1	RB	1	PT	1	2	
LINEN	LVP	1	RB	1	PT	1	4	
HALL	LVP	1	RB	1	PT	1		
SHED	SC	-	-	-	PT	1		
GARAGE	SC	-	-	-	PT	1		

GENERAL NOTES:
A. REFER TO "FINISH LEGEND" FOR MATERIAL AND COLOR INFORMATION.
B. CEILINGS TO BE PAINTED PT-6 ENTIRE UNIT. TYPICAL AT ALL UNITS.
C. CONTINUE FLOOR FINISH INTO KNEE SPACE OF REMOVABLE CABINETS, PAINT BACK WALL, INSTALL WALL BASE.
D. AT ALL EXTERIOR WINDOWS, INSTALL NEW BLINDS. TYPICAL AT ALL UNITS.
E. WOOD HANDRAIL AND WOOD TOP CAP TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
F. STAIR STRINGER, RISER AND TRIM TO BE PAINTED PT-5 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
G. ALL STAIR RISERS TO BE PAINTED PT-5.
H. INTERIOR FACE OF UNIT ENTRY/EXTERIOR DOORS AND ADJACENT HOLLOW METAL FRAMES TO BE PAINTED TO MATCH ADJACENT WALLS (PT-1). 2 PER UNIT. EXISTING COMPOSITE WOOD GRAIN TRIM TO BE PAINTED PT-1 - IF CURRENTLY PAINTED. IF NOT CURRENTLY PAINTED, SURFACE TO BE THOROUGHLY CLEANED.
I. UNIT STAIR - INSTALL RUBBER TREADS ON STAIRS AND LV ON INTERMEDIATE LANDINGS. REFER TO "G" FOR WOOD STRINGER, RISER AND TRIM FINISHES.
J. VB-2 TO BE INSTALLED AT FRONT OF ALL TUBS.

KEYED REMARKS:
1. BASE BID: KITCHEN COUNTERTOP TO BE PLAM (PL-1) SEE FINISH LEGEND FOR COLOR.

REMARKS - FINISHES
1. BS-1 @ KITCHEN BACKSPASH - TYP. UNITS & COMMUNITY CENTER. 2. RSA ON TREADS / LVP ON LANDING. 3. MECH. WITHIN BATH TO BE SV. TYP. BLDG. TYPE 2A. 4. LINEN WITHIN BATH TO BE SV. TYP. BLDG. TYPE 2B & 3A. 5. PT-2 ON EAST WALL. 6. ALIGN FLOOR TILE AND COVE BASE OUTLINE.
FINISHES LEGEND NOTES
1. AT ALL UNITS WITH STAIRS, PAINT STAIR RISER IN COLOR THAT CONTRASTS WITH TREAD. 2. PROVIDE ANTI-SLIP STRIPS ON FRONT EDGE OF STEPS IN COLOR-CONTRAST MATERIAL.

GENERAL NOTES - FINISH	
1. STANDARDS AND PROCEDURES FOR THE PREPARATION AND APPLICATION OF INTERIOR FINISHES ARE DEFINED IN THE PROJECT MANUAL. FINISH (SUB) CONTRACTORS ARE REQUIRED TO READ, UNDERSTAND AND FOLLOW ALL RELEVANT SECTIONS OF THE PROJECT MANUAL.	
2. FINISH MATERIALS ARE LISTED IN THE LEGEND COMPONENT OF THE FINISH SCHEDULE. SPECIFICATIONS ARE INCLUDED IN THE PROJECT MANUAL. ANY CONFLICTS OR DISCREPANCIES BETWEEN THESE TWO SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY.	
3. NO FINISH MATERIAL SUBSTITUTIONS WILL BE ACCEPTED EXCEPT IN THE SPECIFIC CIRCUMSTANCES ENUMERATED IN THE PROJECT MANUAL.	
4. PAINTED HOLLOW METAL DOORS AND FRAMES TO BE PAINTED TO MATCH ADJACENT WALL COLOR UNLESS NOTED OTHERWISE. MATERIAL, FINISH AND COLOR INFORMATION FOR ALL OTHER DOORS AND FRAMES IS CONTAINED IN THE DOOR SCHEDULE AND ITS ASSOCIATED LEGENDS. IF WALLS ON OPPOSITE SIDES OF DOOR FRAME ARE DIFFERENT COLORS THE PAINT COLORS SHOULD BE SPLIT AT THE JAMB OF THE FRAME.	
5. FLOORING MATERIAL DESIGNATED FOR STAIRS IS TO INCLUDE STAIR AND ALL ASSOCIATED TREADS, RISERS, LANDINGS, ETC. (UNLESS NOTED OTHERWISE).	
6. FOR CLARITY, SOME FINISH INFORMATION HAS BEEN PRESENTED GRAPHICALLY IN THE FORM OF FINISH AND FLOORING PLANS. SHOULD THERE BE A DISCREPANCY BETWEEN THE FINISH SCHEDULE AND THESE PLANS, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. FOR THE PURPOSE OF BIDDING, INFORMATION DETAILED ON THE FINISH FLOOR PLANS AND FLOORING PLANS IS TO TAKE PRECEDENCE OVER THE FINISH SCHEDULE UNTIL FURTHER CLARIFICATION CAN BE GIVEN. FOR AREAS NOT SPECIFICALLY DETAILED ON THESE PLANS, THE FINISH SCHEDULE PERTAINS.	
7. ALL DRYWALL SOFFITS TO BE PAINTED FLAT CEILING WHITE UNLESS NOTED OTHERWISE ON CEILING PLANS.	
8. FOR EPOXY OR INTUMESCENT PAINT COLOR REFER TO PAINT SCHEDULE NUMBERS.	
9. WITHIN FINISH SCHEDULE CELLS, SLASH MARKS INDICATE DIFFERENCES IN FINISH MATERIALS WHILE COMMAS INDICATE DIFFERENCES IN PATTERN OR COLOR WITHIN A SPECIFIC MATERIAL.	
10. APPROPRIATE METAL OR VINYL TRANSITION STRIPS MUST BE PROVIDED AT ALL FINISH MATERIAL FLOORING CHANGES. GENERAL CONTRACTOR TO SUBMIT SHOP DRAWINGS FOR ALL FLOORING TRANSITIONS AND AREAS IN WHICH FLOORING PATTERNS ARE SHOWN. SEE FLOOR FINISH PLANS, DETAILS AND NOTES FOR SPECIFIC INFORMATION.	
11. FLOORING CONTRACTOR(S) IS RESPONSIBLE FOR COORDINATING FINISHED FLOOR ELEVATIONS WITH ALL ANY FLOOR MOUNTED COMPONENTS (RECEPTACLES, ACCESS PANELS, ETC.) SO THAT COMPONENTS ARE INTEGRATED AND FLUSH.	

FINISH LEGEND	
FLOORS:	
Luxury Vinyl (LVP) (See Enlarged Plan for LVP Plank Install Direction (DIR))	
LVP-1	Mtg. Landmark Interiors Pattern: Terrain 2.5mm / 22mil. / 9.45" x 60" Plank Color: Switchback TR-04-22
Sealed Concrete (SC)	
Sheet Vinyl (SV)	
SV-1	Mtg. Tarkett Pattern: Performa - Roll Good Color: 55531 Stonework Dover
Tile Floor (TF)	
TF-1	Mtg. Atlas Concorde Pattern: Cove Terra 12" x 24" Porcelain Color: Pearl Grout: GT-1
BASE:	
Tile Wall Base (TWB)	
TWB-1	Mtg. Atlas Concorde Pattern: Cove Terra 6" x 12" Cove Porcelain Color: Pearl Grout: GT-1
Vinyl Base (VB)	
VB-1	Mtg. Tarkett 6" Traditional Cove Base w/ Toe Kick
VB-2	Mtg. Tarkett 2-1/2" Traditional Cove Base w/ Toe Kick
	Color: 50 White
WALLS:	
Paint (PT)	
PT-1	Mtg. Sherwin Williams Color: SW 7031 City Loft
PT-2	Mtg. Sherwin Williams Color: SW 7005 Pure White
PT-3	Mtg. Sherwin Williams Color: SW 7016 Mindful Gray
STAIRS:	
Rubber Tread (RSA)	
RSA-1	Mtg. Tarkett/Johnsontite Style: Safe T Rid Color: 63 Burnt Umber
RSA-2	Hearing and Visually Impaired Units Only Mtg. Tarkett/Johnsontite Style: VHMATS 63 48 Tread w/ Hammered Finish and 2" Rubber Insert Color: 63 Burnt Umber w/ 48 Beige Solid Color Rubber Insert
Metal Handrail Paint (PT)	
PT-4	Mtg. Sherwin Williams Color: SW 6993 Black of Night
Wood Handrail/Trim Paint (PT)	
PT-5	Mtg. Sherwin Williams Color: SW 9171 Felted Wool
CEILING:	
Paint (PT)	
PT-6	Mtg. Sherwin Williams Color: SW 7007 Ceiling Bright White - Flat
MISCELLANEOUS	
Backsplash FFB (BS)	
BS-1	Mtg. Crane Composites Product: Glasbord Color: Smooth Ivory 84
ALT. WT-1	Mtg. Daltile Product: Color Wheel Classic 3" x 6" - Subway Installation Color: Arctic White 0190 Grout: GT-1
Cabinets	
	Mtg. Regent Cabinets / Extreme Construction Style: Shaker Slab Color: Painted Finish - White
Grout (GT)	
GT-1	Mtg. Laticrete Color: 24 Natural Grey
Plam (PL)	
PL-1	Kitchen Countertops Mtg. Formica Pattern: 299-58 Color: Ebony Oxide / Matte Texture
ALT. QZ-1	Mtg. Corian Style: Quartz / 3cm
Quartz Surface (QZ)	
QZ-1	Mtg. Corian Style: Quartz Color: Storm Grey
Vanity Top / Sink Unit Baths	
	Mtg. Rynone Style: Cultured Marble Color: White
ALT. QZ-1	Mtg. Corian Style: Quartz / 2cm
Window Blind	
	Mtg. SWF Contract Style: Series Faux Wood Blinds w/ PVC Headrail / 2" Slat Color: 9306 White

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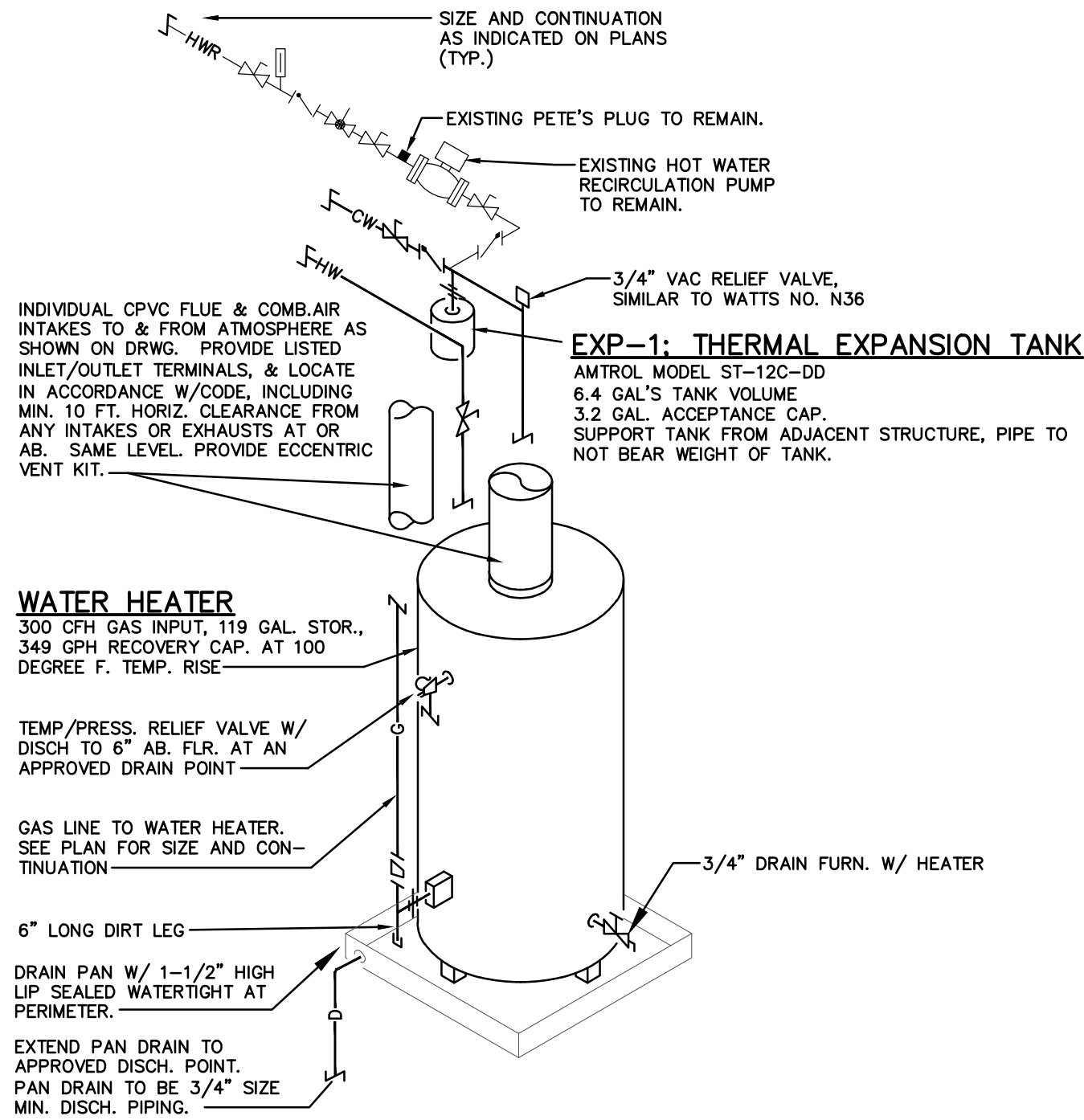
Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO. FIRM 00197475

#	DATE	CHANGE DESCRIPTION
1	09/12/2025	ADDENDUM #2

JAY W. BOONE
REGISTERED ARCHITECT
10740

08/14/2025
DRAWN BY: XXXX CHECKED BY: XXXX
18076.04
A900
BID / PERMIT SET

JAY W. BOONE, LIC. #10740
EXP. DATE: 12/31/2025

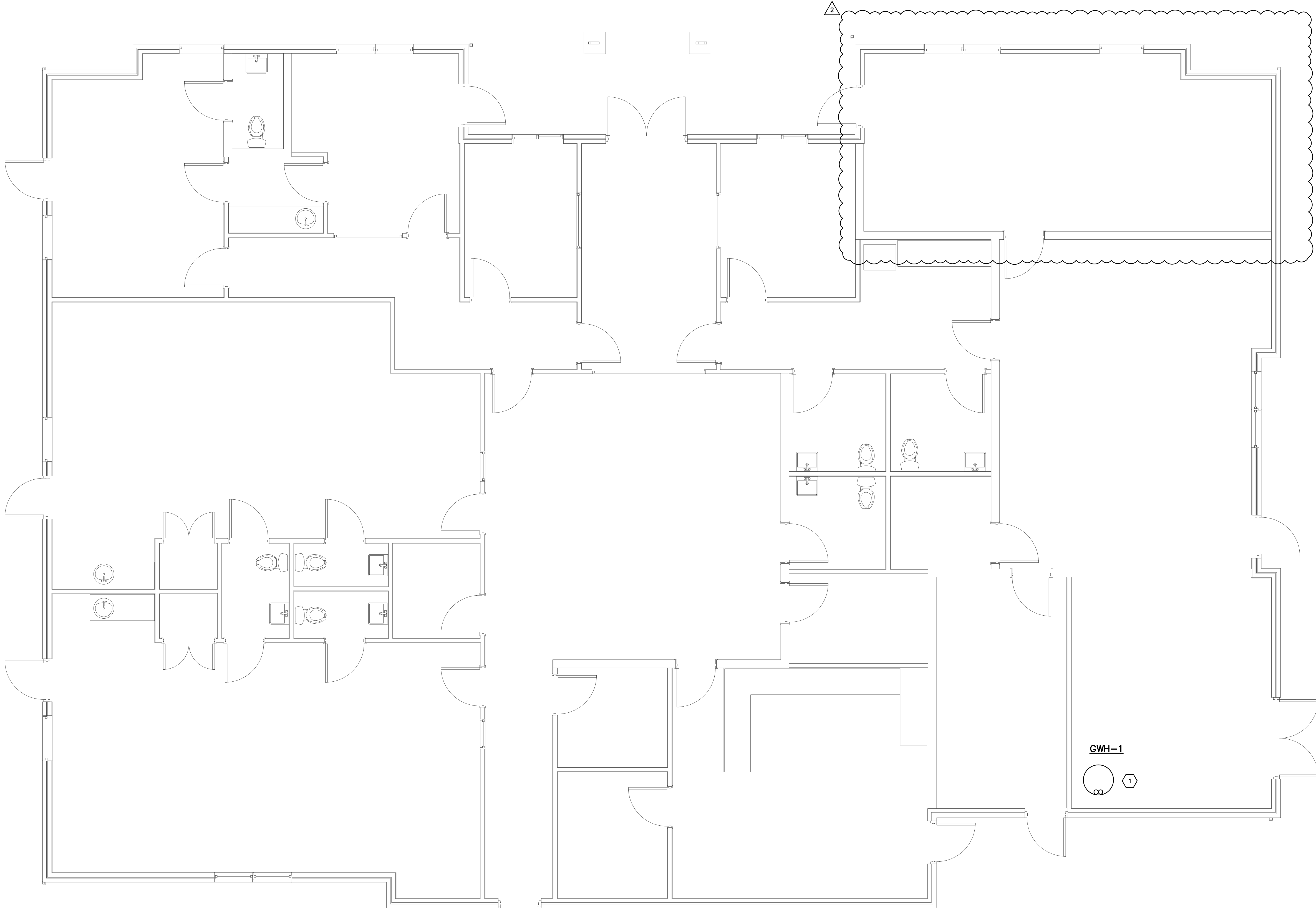


EQUIPMENT

GWH-1: GAS WATER HEATER
NATURAL GAS WATER HEATER SHALL BE ASME CERTIFIED A. O. SMITH CYCLONE MXI MODEL # BTH-120(A) OR EQUAL, MINIMUM 98% THERMAL EFFICIENCY, A STORAGE CAPACITY OF 60 GALLONS, AN INPUT RATING OF 120,000 BTU/H PER HOUR, A RECOVERY RATING OF 138 GALLONS PER HOUR (GPH) AT 100°F RISE AND A MAXIMUM HYDROSTATIC WORKING PRESSURE OF 160 PSI. WATER HEATER(S) SHALL: 1. MODULATING GAS BURNER THAT AUTOMATICALLY ADJUSTS THE INPUT BASED ON DEMAND, 2. POWERED ANODES THAT ARE NON SACRIFICIAL AND MAINTENANCE FREE, 3. HAVE SEAMLESS GLASS-LINED STEEL TANK CONSTRUCTION, WITH GLASS LINING APPLIED TO ALL WATER-SIDE SURFACES AFTER THE TANK HAS BEEN ASSEMBLED AND WELDED, 4. MEETS THE THERMAL EFFICIENCY AND/OR STANDBY LOSS REQUIREMENTS OF THE U. S. DEPARTMENT OF ENERGY AND CURRENT EDITION OF ASHRAE/IES 90.1, 5. HAVE FOAM INSULATION AND A CSA CERTIFIED AND ASME RATED TAP RELIEF VALVE, 6. HAVE A DOWN-FRED POWER BURNER DESIGNED FOR PRECISE MIXING OF AIR AND GAS FOR OPTIMUM EFFICIENCY, REQUIRING NO SPECIAL CALIBRATION ON START-UP, 7. BE APPROVED FOR 0" CLEARANCE TO COMBUSTIBLES, THE CONTROL SHALL BE AN INTEGRATED SOLID-STATE TEMPERATURE AND IGNITION CONTROL DEVICE WITH INTEGRAL DIAGNOSTICS, GRAPHIC USER INTERFACE, FAULT HISTORY DISPLAY, AND SHALL HAVE DIGITAL TEMPERATURE READOUT, 1. ALL MODELS ARE DESIGN CERTIFIED BY UNDERWRITERS LABORATORIES (UL), INC. ACCORDING TO ANSI Z21.10.3 - CSA 4.3 STANDARDS GOVERNING STORAGE TYPE WATER HEATERS, 2. MEET THE THERMAL EFFICIENCY AND STANDBY LOSS REQUIREMENTS OF THE U. S. DEPARTMENT OF ENERGY AND CURRENT EDITION ASHRAE/IES 90.1, COMPLIES WITH SCAQMD RULE 1146.2 AND OTHER AIR QUALITY MANAGEMENT DISTRICTS WITH SIMILAR REQUIREMENTS FOR LOW NOX EMISSIONS. PROVIDE WITH ACID NEUTRALIZATION DRAIN KIT. PROVIDE WITH MINIMUM 1-1/2" ALUMINUM DRAIN PAN.

TXT-1: THERMAL EXPANSION TANK (ASME RATED)
EQUIVALENT TO AMTROL MODEL ST-SC-DD, 2.0 GALLON TANK VOLUME, 0.9 GALLONS ACCEPTANCE VOLUME. TANK SHALL BE ASME LISTED/APPROVED WITH STEEL SHELL, RIGID POLYPROPYLENE LINER AND HEAVY DUTY BUTYL RUBBER DIAPHRAGM (NSF/ANSI 61) WITH ANTI-MICROBIAL ANTI-LEGIONELLA PROTECTION (ASHRAE 188 GUIDELINES). LINER AND DIAPHRAGM MECHANICALLY BONDED TO SHELL TO FORM A SEPARATE AIR CHAMBER AND NON-CORROSIVE WATER RESERVOIR. AIR CHAMBER PRE-CHARGED TO 55 PSIG PROVIDED WITH A STANDARD SCHRAEDER AIR VALVE. CONTRACTOR TO ADJUST THE MANUFACTURERS PRE-CHARGE AIR PRESSURE TO THE ACTUAL SYSTEM WORKING PRESSURE IN ACCORDANCE WITH MANUFACTURER INSTALLATION GUIDELINES. PROVIDE ASME RATED AND 200°F MAXIMUM OPERATING TEMPERATURE, 150 PSIG WORKING PRESSURE.

GWH-1: GAS WATER HEATER PIPING DIAGRAM
NO SCALE



CODED NOTES

1. REMOVED EXISTING WATER HEATER AND FLUE, REPLACE WITH NEW HIGH EFFICIENCY WATER HEATER AS SHOWN ON DRAWINGS. PROVIDE FLUE AND INTAKE PIPING THROUGH ROOF. PROVIDE CONCENTRIC VENT KIT THROUGH ROOF AND REPAIR ROOF TO MATCH EXISTING. PROVIDE WITH PLUG TYPE FOR BLOWER AND CONTROLS TO EXISTING OUTLET.

#	DATE	CHANGE DESCRIPTION
2	9/11/25	ADDENDUM #2

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RENOVATIONS**
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR:
**COLUMBUS METROPOLITAN HOUSING
AUTHORITY**

Moody Nolan

300 SPRUCE STREET
SUITE 300
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PHONE: (614) 461-4664
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CERTIFICATE NO: FIRM 00197475

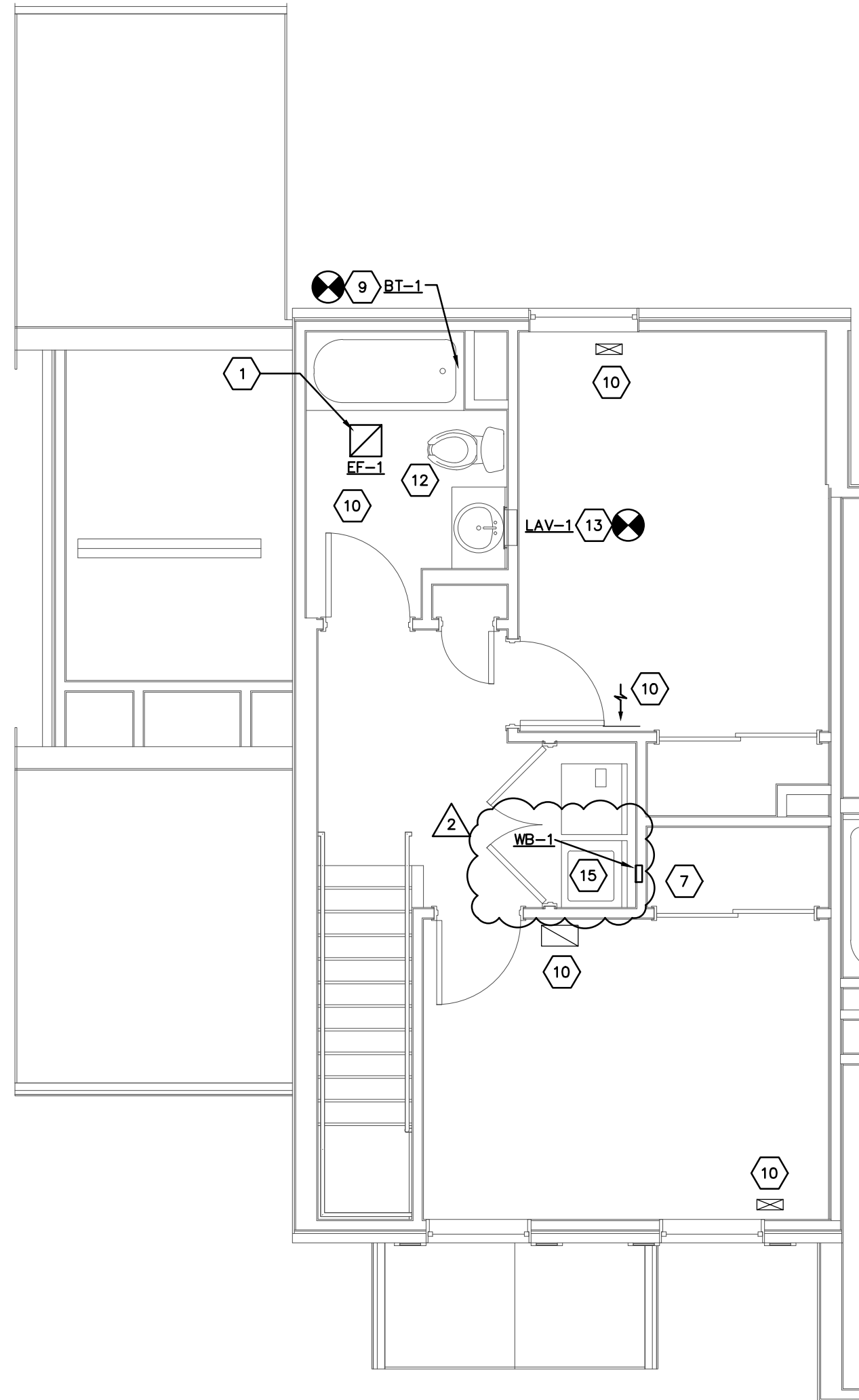
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**COMMUNITY CENTER
MECHANICAL PLANS**

H103

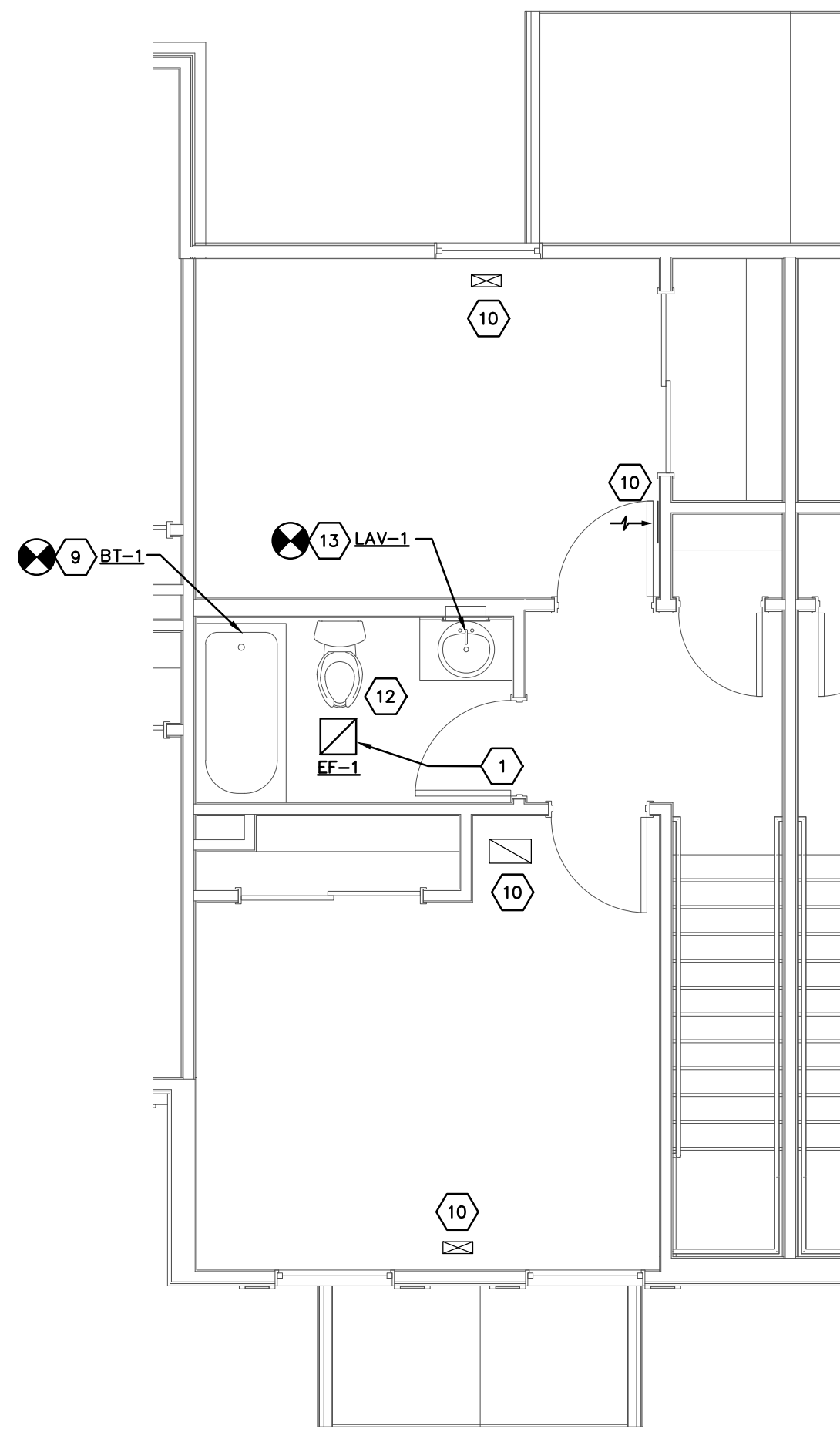
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CHECKED BY: PE A
18076.04

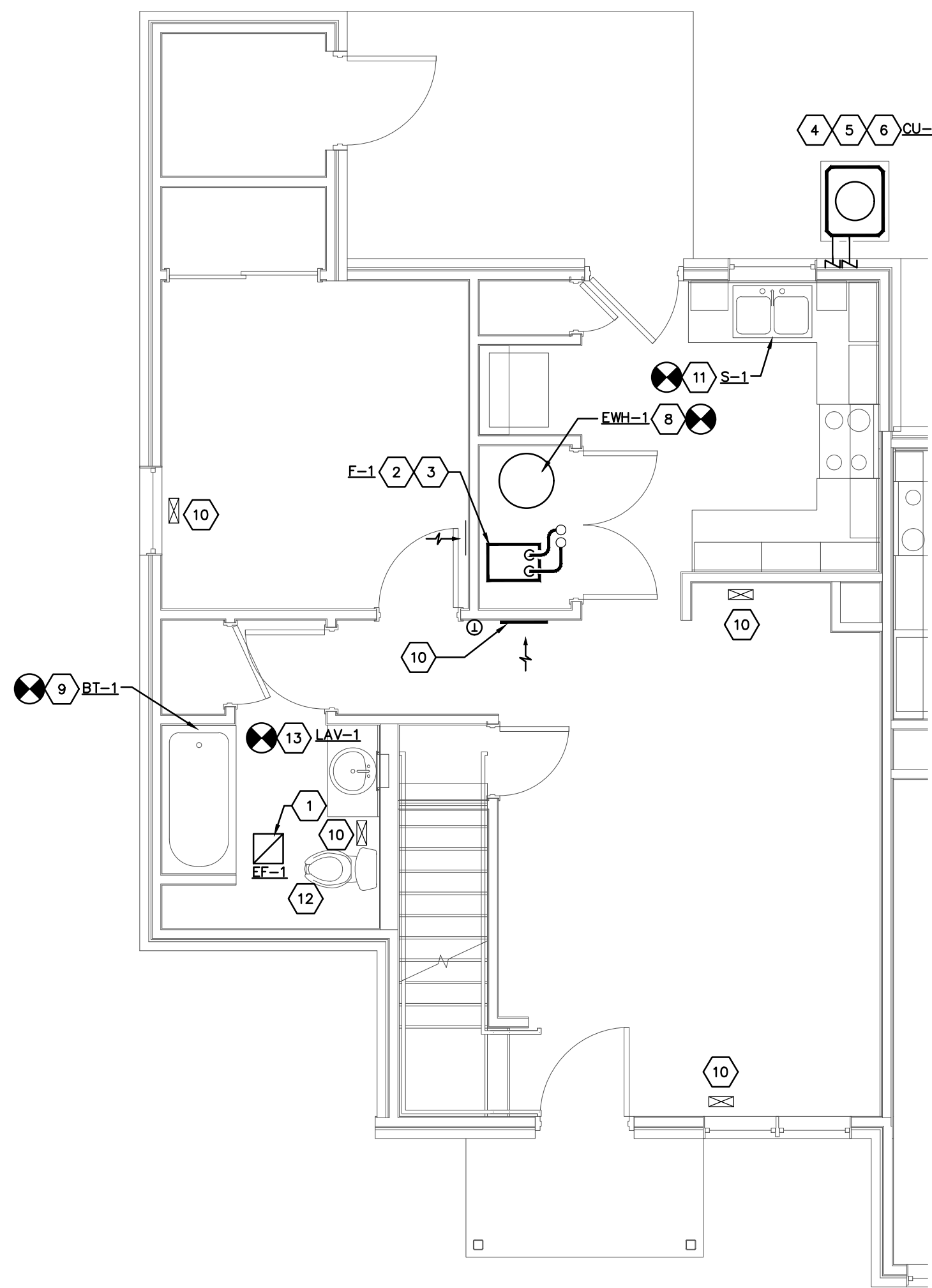
08/14/2025
MICHAEL J. EVANS
E-69312
Professional Engineer
State of Ohio



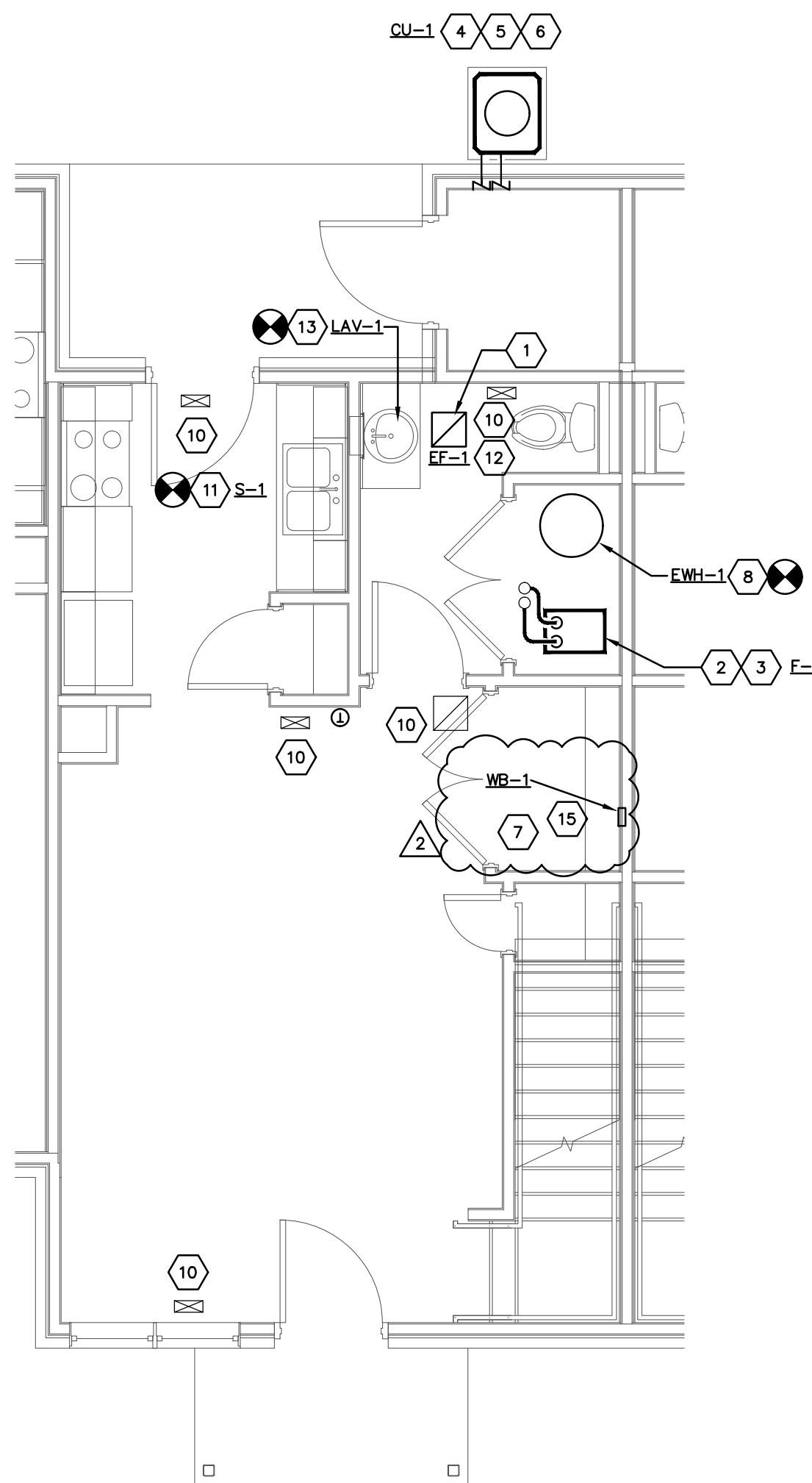
SECOND FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



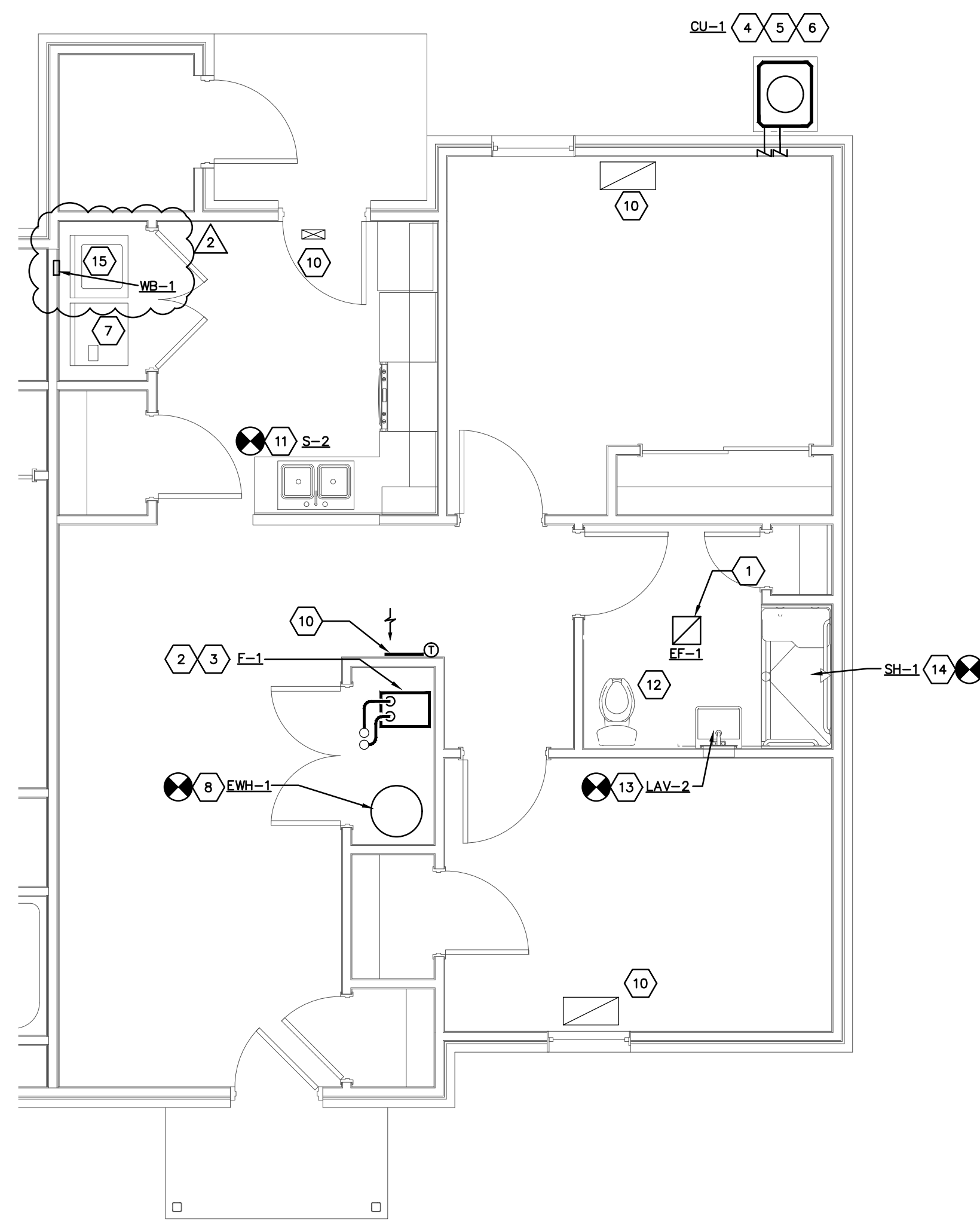
SECOND FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 2-B (HC)
HVAC PLAN
SCALE: 1/4"=1'-0"

H201-18138-MEADOWS.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road
Dublin, Ohio 43016

(614) 766 4896
FAX: (614) 766 2354

DESIGNED BY: M. EVANS, P.E. DRAWN BY: CML CHECKED BY: JOB NUM: 18138-MEADOWS

CODED NOTES

- EXISTING EXHAUST FAN TO BE REPLACED WITH NEW EXHAUST FAN. SEAL ALL GAPS AIR TIGHT BETWEEN FAN AND DRYWALL.
- REMOVE EXISTING FURNACE AND REPLACE WITH NEW FURNACE AS SHOWN. MODIFY DUCTWORK AS REQUIRED TO INSTALL FURNACE AND COOLING COIL. REPLACE HORIZONTAL RETURN DUCT FROM FURNACE WITH NEW FILTER CARRIER AND DUCT. FILTER CARRIER TO BE FOR 16"x25" FILTER.
- DISCONNECT AND INSTALL GAS LINE TO FURNACE. REMOVE EXHAUST FUE PIPE AND COMBUSTION AIR PIPE FROM EXISTING FURNACE. EXTEND NEW INTAKE/EXHAUST FUE TO EXISTING VENT PIPING. EXTEND CONDENSATE DRAIN TO FLOOR DRAIN.
- EXISTING REFRIGERANT LINES TO BE REUSED. FLUSH REFRIGERANT LINES USING R11 FLUSHING KIT BY RU-CALSON. FLUSH LINES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. INSULATE ALL REFRIGERANT SUCTION PIPING NOT HIDDEN, INSIDE AND OUTSIDE. PROVIDE WEATHER COATING ON INSULATION LOCATED OUTSIDE. PROVIDE MANUFACTURER'S RECOMMENDED MINIMUM CLEARANCE AROUND CONDENSING UNIT.
- PROVIDE 12" MINIMUM CLEARANCE AROUND CONDENSING UNIT PER MANUFACTURER'S RECOMMENDATION.
- CONDENSING UNIT ON 4" HIGH CONCRETE PAD. REMOVE EXISTING PAD. NEW PAD SHALL EXTEND 6" BEYOND UNIT IN EACH DIRECTION. MAINTAIN MANUFACTURER'S REQUIRED CLEARANCES ALL AROUND. BOLT CONDENSING UNIT TO PAD WITH 1/2" GALVANIZED BOLTS.
- CLEAN EXISTING DRYER DUCT FREE OF LINT FROM DRYER CONNECTION TO OUTSIDE UNIT.
- REPLACE EXISTING DOMESTIC WATER HEATER WITH NEW WATER HEATER. SEE EQUIPMENT NOTES AND PIPING SCHEMATICS ON DETAIL SHEET H900. EXTEND TEMPERATURE/PRESSURE RELIEF VALVE TO 6" ABOVE FLOOR. PROVIDE DRAIN PAN. EXTEND DRAIN TO FLOOR DRAIN. RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE A PRV VALVE AT INCOMING WATER INTO EACH UNIT AND SET FOR A MAXIMUM OF 60 PSI.
- REMOVE ALL EXISTING CAULK FROM TUB AND SHOWER. CLEAN SURFACE AND INSTALL NEW CAULK AT ALL SEAMS OF TUB AND SHOWER. EXISTING SHOWER HEAD TO BE REPLACED WITH NEW.
- REPLACE ALL SUPPLY AND RETURN REGISTERS IN THIS SPACE. NOTED SIZES TO BE FIELD VERIFIED. REPLACE WITH ARMATE TYPE REGISTERS. SUPPLY AIR AND RETURN AIR DUCTWORK SHALL BE CLEANED BY A NADCA MEMBER USING A SOURCE REMOVAL METHOD OF CLEANING TO PLACE THE SYSTEM UNDER NEGATIVE PRESSURE TO REMOVE ALL DUST AND DEBRIS IN THE INTERIOR SURFACES OF THE DUCTWORK. NADCA MEMBER MUST HAVE A MINIMUM OF 5 YEARS EXPERIENCE.
- EXISTING SINK TO BE REPLACED WITH NEW. REMOVE EXISTING HW/CW SUPPLY PIPING AND SAN/TRAP BACK TO A POINT APPROPRIATE FOR RECONNECTION/EXTENSION TO NEW FIXTURE. COORDINATE REPLACEMENT FIXTURE WITH EXISTING SUPPLY AND DRAIN LINES IN ADVANCE.
- REPLACE TOILET FLUSH MECHANISMS AND SEALS INCLUDING FILL VALVE, TOILET FLAPPER, TANK SEAL AND ASSOCIATED ACCESSORIES. KIT TO BE PURCHASED FROM MANUFACTURER THAT MATCHES EXISTING TOILET.
- EXISTING LAVATORY TO BE REPLACED. SEE FIXTURE SCHEDULE ON SHEET H900. REPLACE EXISTING FAUCET ASSEMBLY, DRAIN ASSEMBLY, CHROME PLATED STOPS, CHROME PLATED RISERS, CHROME PLATED P-TRAP AND OTHER APPURTENANCES AS NOTED ON THE FIXTURE SCHEDULE. RECONNECT TO EXISTING PIPING HW, CW, AND WASTE ROUGH-INS.
- EXISTING SHOWER TO BE REPLACED WITH NEW SHOWER. SEE FIXTURE SCHEDULE ON SHEET H900. REPLACE SHOWER FAUCET ASSEMBLY, WASTE ASSEMBLY, AND OTHER APPURTENANCES AS NOTED ON THE FIXTURE SCHEDULE. INSTALL NEW RISER AND SHOWER ARM TO NEW SHOWERHEAD IN EXISTING WALL. RECONNECT TO EXISTING HW, CW AND WASTE ROUGH-INS.
- REPLACE EXISTING WASHER BOX AT THIS LOCATION. FIELD VERIFY EXACT LOCATION. SEE "PLUMBING FIXTURE SCHEDULE" ON SHEET H900.

BUILDING TYPE SUMMARY

BUILDING TYPE	BUILDING NUMBERS	UNIT TYPE COUNT				
		2-A	2-B (H.C.)	3-A	3-B	4-A
I	1,2,5,6,8,9,18	2	-	2	-	-
II	10	3	-	2	-	-
III	3,4,7,11	2	-	4	-	-
IV	13,15,16,17	-	-	-	3	-
V	12,14	-	-	-	-	3
VI	19,20,21,22,23	1	1	2	-	-
UNIT TOTALS		30	5	42	12	6

BUILDING NUMBERS ARE COORDINATED WITH ARCHITECTURAL SITE PLAN.

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2	9/11/25	ADDENDUM #2



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CERTIFICATE NO: FIRM 00197475

ENLARGED UNITS HVAC PLANS

H201-18138-MEADOWS.DWG

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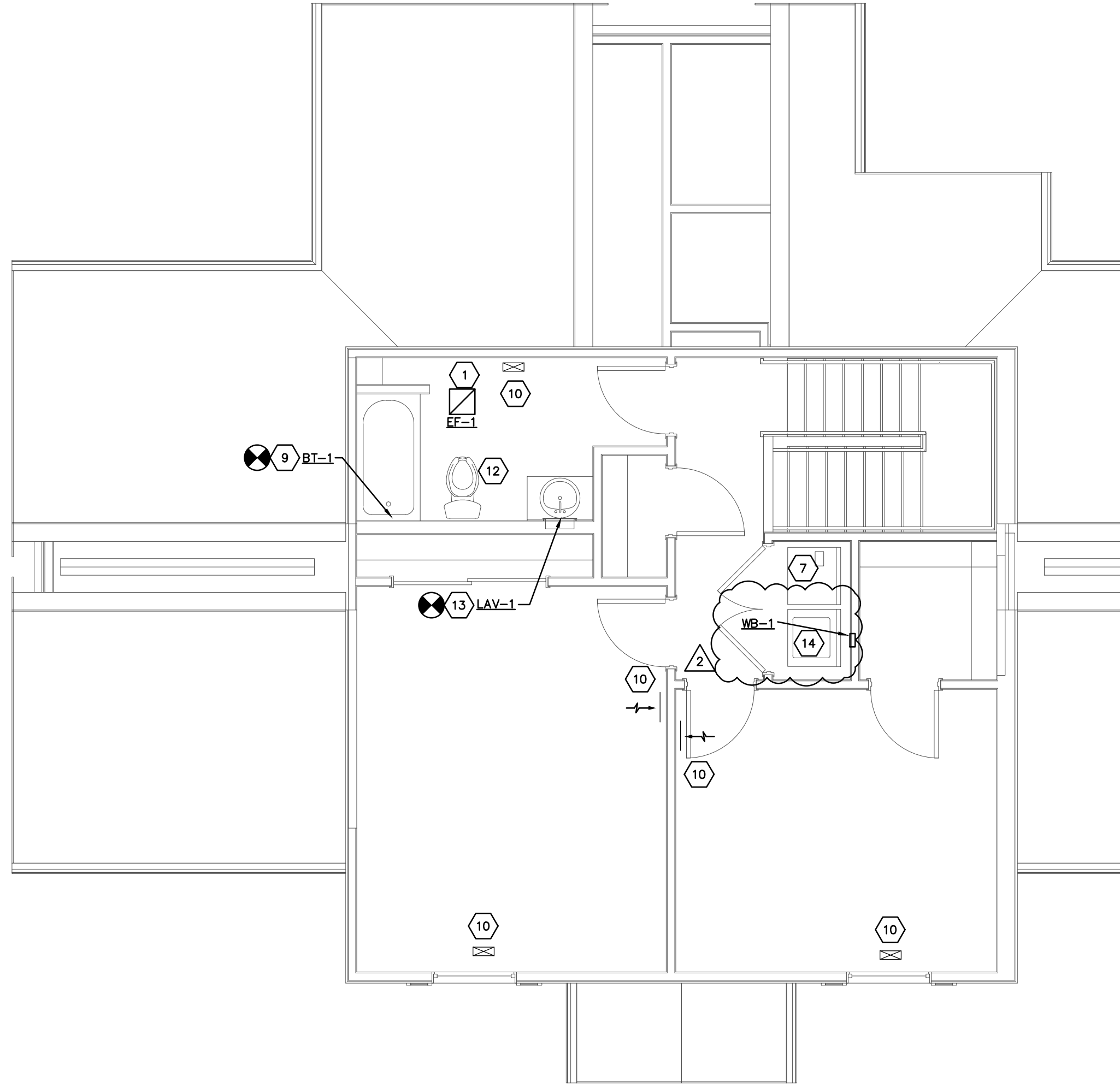
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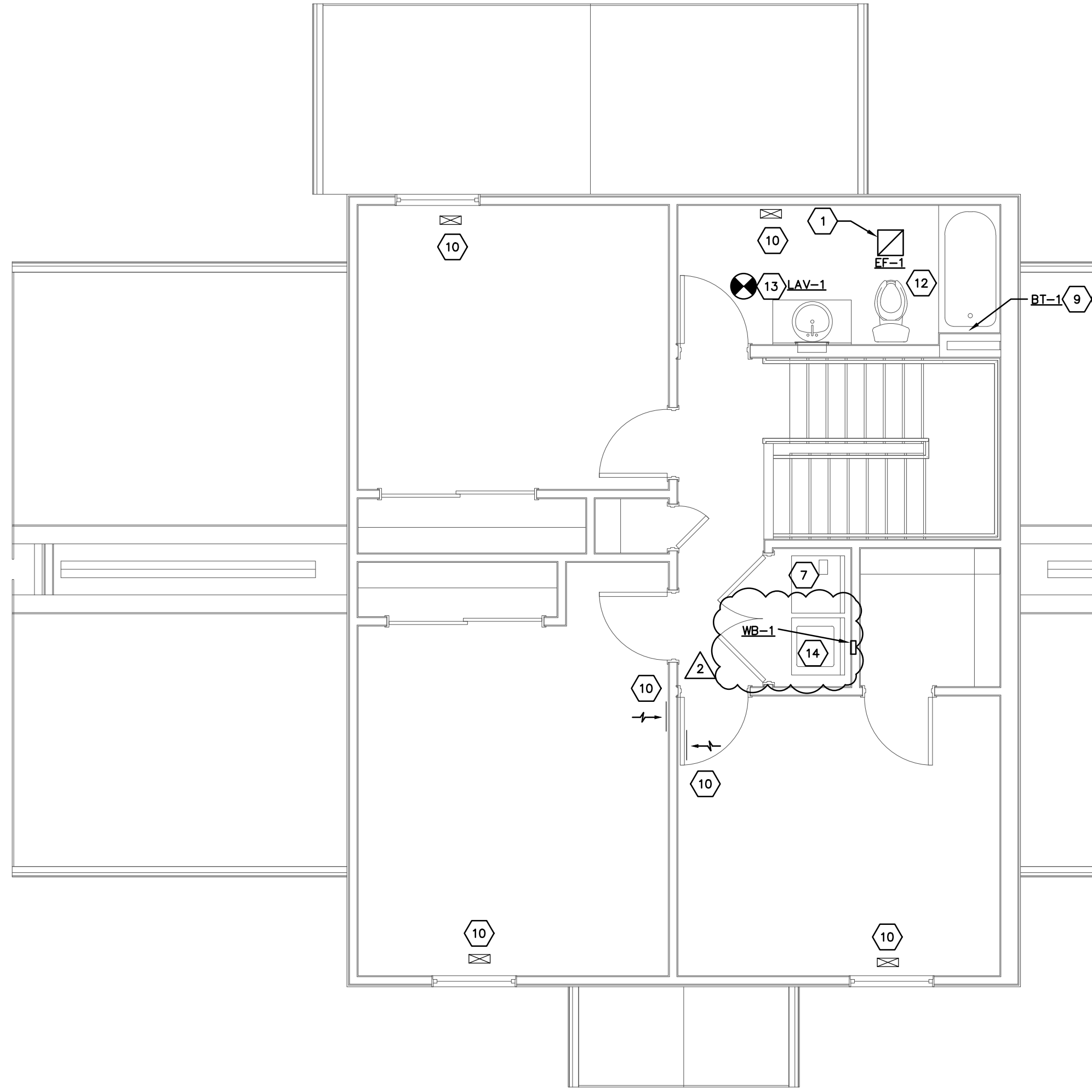
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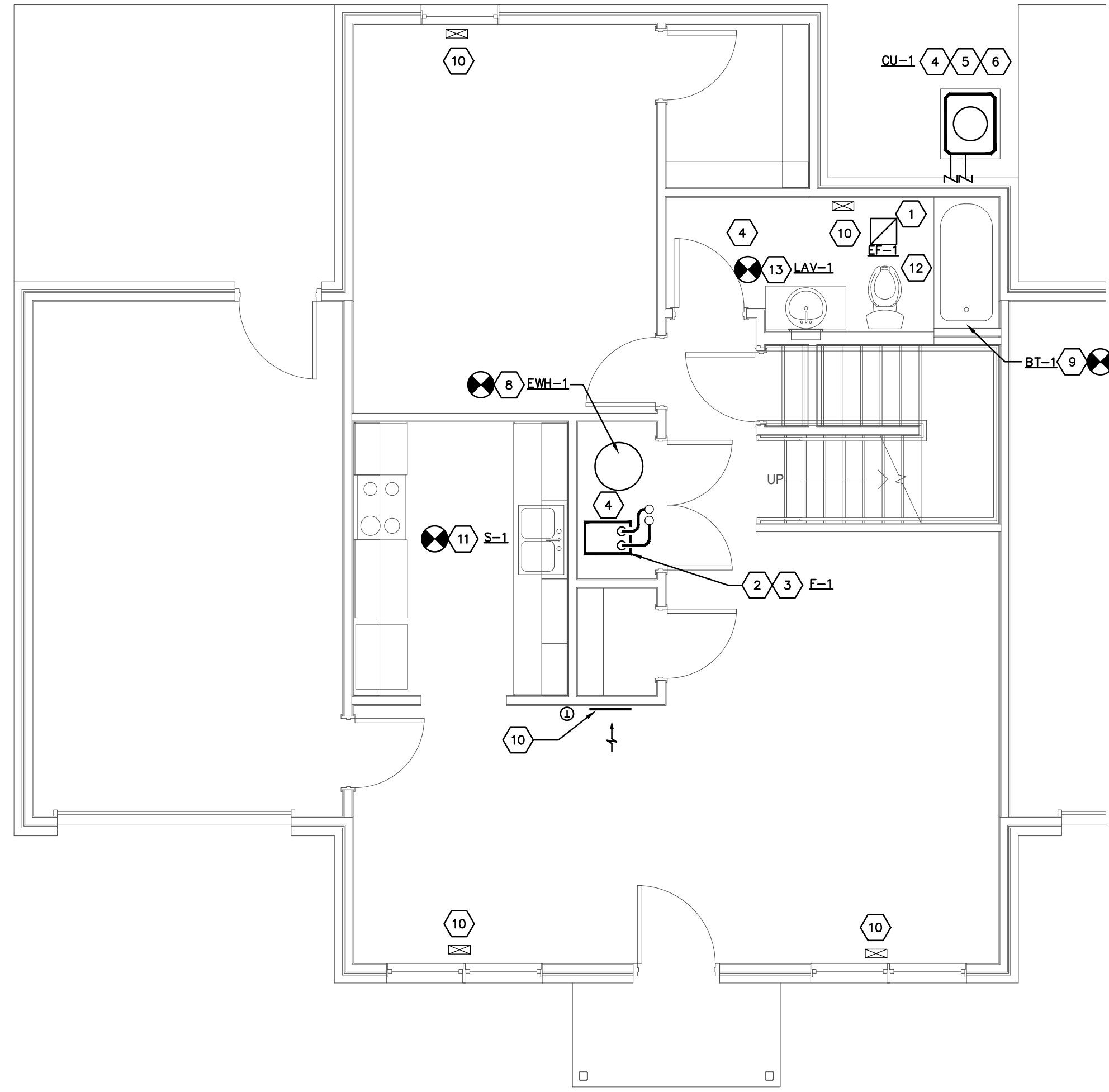
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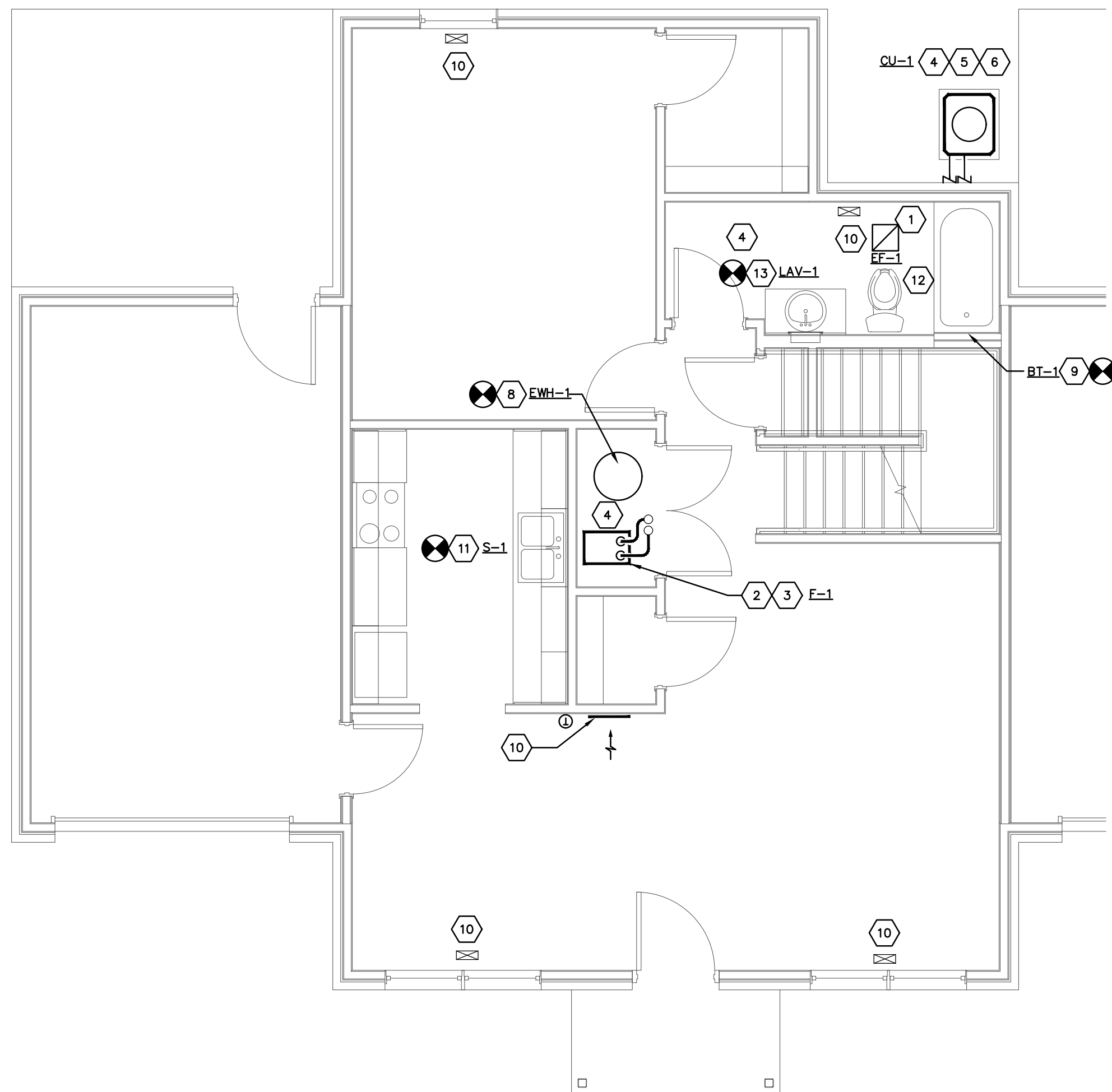
SECOND FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



SECOND FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 3-B
HVAC PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR UNIT 4-A
HVAC PLAN
SCALE: 1/4"=1'-0"

CODED NOTES

- EXISTING EXHAUST FAN TO BE REPLACED WITH NEW EXHAUST FAN. SEAL ALL GAPS AIR TIGHT BETWEEN FAN AND DRYWALL.
- REMOVE EXISTING FURNACE AND REPLACE WITH NEW FURNACE AS SHOWN. MODIFY DUCTWORK AS REQUIRED TO INSTALL FURNACE AND COOLING COIL. REPLACE HORIZONTAL RETURN DUCT FROM FURNACE WITH NEW FILTER CARRIER AND DUCT. FILTER CARRIER TO BE FOR 16"x25" FILTER.
- DISCONNECT AND INSTALL GAS LINE TO FURNACE. REMOVE EXHAUST FUE PIPE AND COMBUSTION AIR PIPE FROM EXISTING FURNACE. EXTEND NEW INTAKE/EXHAUST FLUE TO EXISTING VENT PIPING. EXTEND CONDENSATE DRAIN TO FLOOR DRAIN.
- EXISTING REFRIGERANT LINES TO BE REUSED. FLUSH REFRIGERANT LINES USING R111 FLUSHING KIT BY RU-CALSON. FLUSH LINES ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. INSULATE ALL REFRIGERANT SUCTION PIPING NOT HIDDEN, INSIDE AND OUTSIDE. PROVIDE WEATHER COATING ON INSULATION LOCATED OUTSIDE. PROVIDE MANUFACTURER'S RECOMMENDED MINIMUM CLEARANCE AROUND CONDENSING UNIT.
- PROVIDE 12" MINIMUM CLEARANCE AROUND CONDENSING UNIT PER MANUFACTURER'S RECOMMENDATION.
- CONDENSING UNIT ON 4" HIGH CONCRETE PAD. REMOVE EXISTING PAD. NEW PAD SHALL EXTEND 8" BEYOND UNIT IN EACH DIRECTION. MAINTAIN MANUFACTURER'S REQUIRED CLEARANCES ALL AROUND. BOLT CONDENSING UNIT TO PAD WITH 1/2" GALVANIZED BOLTS.
- CLEAN EXISTING DRYER DUCT FREE OF LINT FROM DRYER CONNECTION TO OUTSIDE UNIT.
- REPLACE EXISTING DOMESTIC WATER HEATER WITH NEW WATER HEATER. SEE EQUIPMENT NOTES AND PIPING SCHEMATICS ON DETAIL SHEET H900. EXTEND TEMPERATURE/PRESSURE RELIEF VALVE TO 6" ABOVE FLOOR. PROVIDE DRAIN PAN. EXTEND DRAIN TO FLOOR DRAIN. RECONNECT TO EXISTING DOMESTIC WATER PIPING. PROVIDE A PRV VALVE AT INCOMING WATER INTO EACH UNIT AND SET FOR A MAXIMUM OF 60 PSI.
- REMOVE ALL EXISTING CAULK FROM TUB AND SHOWER. CLEAN SURFACE AND INSTALL NEW CAULK AT ALL SEAMS OF TUB AND SHOWER. EXISTING SHOWER HEAD TO BE REPLACED WITH NEW.
- REPLACE ALL SUPPLY AND RETURN REGISTERS IN THIS SPACE. NOTED SIZES TO BE FIELD VERIFIED. REPLACE WITH ARMATE TYPE REGISTERS. SUPPLY AIR AND RETURN AIR DUCTWORK SHALL BE CLEANED BY A NADCA MEMBER USING A SOURCE REMOVAL METHOD OF CLEANING TO PLACE THE SYSTEM UNDER NEGATIVE PRESSURE TO REMOVE ALL DUST AND DEBRIS IN THE INTERIOR SURFACES OF THE DUCTWORK. NADCA MEMBER MUST HAVE A MINIMUM OF 5 YEARS EXPERIENCE.
- EXISTING SINK TO BE REPLACED WITH NEW. REMOVE EXISTING HW/CW SUPPLY PIPING, AND SAN/TRAP BACK TO A POINT APPROPRIATE FOR RECONNECTION/EXTENSION TO NEW FIXTURE. COORDINATE REPLACEMENT FIXTURE WITH EXISTING SUPPLY AND DRAIN LINES IN ADVANCE.
- REPLACE TOILET FLUSH MECHANISMS AND SEALS INCLUDING FILL VALVE, TOILET FLAPPER, TANK SEAL AND ASSOCIATED ACCESSORIES. KIT TO BE PURCHASED FROM MANUFACTURER THAT MATCHES EXISTING TOILET.
- EXISTING LAVATORY TO BE REPLACED. SEE FIXTURE SCHEDULE ON SHEET SCHEDULE SHEET. REPLACE EXISTING FAUCET ASSEMBLY, DRAIN ASSEMBLY, CHROME PLATED STOPS, CHROME PLATED RISERS, CHROME PLATED P-TRAP AND OTHER APPURTENANCES AS NOTED ON THE FIXTURE SCHEDULE. RECONNECT TO EXISTING PIPING HW, CW AND WASTE-ROUGH-UPS.
- REPLACE EXISTING WASHER BOX AT THIS LOCATION. FIELD VERIFY EXACT LOCATION. SEE "PLUMBING FIXTURE SCHEDULE" ON SHEET H900.

BUILDING TYPE SUMMARY

BUILDING TYPE	BUILDING NUMBERS	UNIT TYPE COUNT				
		2-A	2-B (H.C.)	3-A	3-B	4-A
I	1,2,5,6,8,9,18	2	-	2	-	-
II	10	3	-	2	-	-
III	3,4,7,11	2	-	4	-	-
IV	13,15,16,17	-	-	-	3	-
V	12,14	-	-	-	-	3
VI	19,20,21,22,23	1	1	2	-	-
UNIT TOTALS		30	5	42	12	6

BUILDING NUMBERS ARE COORDINATED WITH ARCHITECTURAL SITE PLAN.

#	DATE	CHANGE DESCRIPTION
2	9/11/25	ADDENDUM #2

THE MEADOWS RAD RENOVATIONS
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR:
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

ENLARGED UNITS HVAC PLANS

 STATE OF OHIO MICHAEL J. EVANS E-69312 PROF. REGISTERED ENGINEER 08/14/2025	08/14/2025	
	DRAWN BY: PEA	CHECKED BY: PEA
	18076.04	
	H202	
	BID / PERMIT SET	

FURNACE-A/C SCHEDULE

ITEM	F-1	CU-1
FURNACE MANUFACTURER	BRYANT	
MODEL NUMBER	926TC36060V14	
SUPPLY AIR CFM	600	
EXTERNAL STATIC PRESSURE	0.6"	
FAN MOTOR HP	1/2	
OUTSIDE AIR	---	
GAS HEATING MBTU-INPUT	60.0	
GAS HEATING MBTU-OUTPUT	58.0	
BLOWER AMPS	9.8	
MAXIMUM FUSE SIZE	15	
VOLTS/PHASE	115/1Ø	
FURNACE FILTER	12"x24" FILTER GR	
COOLING COIL MANUF.	BRYANT	
MODEL NUMBER	CV4VA1814XMA	
CONDENSING UNIT MANUF.	BRYANT	
MODEL NUMBER	146SAN01B00W	
NOMINAL TONNAGE	1.5	
TOTAL COOLING CAP. MBTU	18.2	
SENSIBLE COOLING MBTU	12.5	
SYSTEM SEER	15.5	
FAN RLA	0.5	
COMPRESSOR RLA	8.3	
COMPRESSOR LRA	41.5	
MINIMUM CIRCUIT AMPACITY	10.9	
MAXIMUM FUSE SIZE	15	
VOLTS (PHASE)	240 (1)	
REFRIG. LINES SUCT. - LIQ.	3/4 - 3/8	

NOTES:

- FURNACE UNITS ARE UPFLOW.
- FURNISH UNITS W/ PRE-CHARGED LINE SETS.
- COOLING CAPACITIES BASED ON 80° DB/67° WB ENTERING AIR, 95° AMBIENT AIR TEMPERATURES & 45° MAX. SUCTION TEMP.
- CONDENSATE DRAIN LINE SHALL BE EXTENDED TO FLOOR DRAIN.
- PROVIDE 1" SLIDE FILTER RACK AND 2 SETS OF SPARE FURNACE FILTERS.
- PROVIDE 7 DAY PROGRAMMABLE ENERGY STAR THERMOSTAT.
- PROVIDE CONDENSING UNIT WITH METAL STAMPED HAIL GUARD.
- FURNACE TO BE ENERGY STAR.

PLUMBING EQUIPMENT

EW-1: ELECTRIC WATER HEATER (DUAL ELEMENTS)

WATER HEATER SHALL BE GLASS LINED COMMERCIAL GRADE DESIGN, AND ELECTRICALLY HEATED. UNIT SHALL BE LABELED BY UNDERWRITERS LABORATORY (UL). HEATER SHALL MEET ALL APPLICABLE ENERGY CODES WITH (2) NON-SIMULTANEOUS 4.5 KW HEATING ELEMENTS AND A RECOVERY RATING OF 21 GAL PER HOUR AT A TEMPERATURE RISE OF 90 DEGREES F. UEF = 0.83. STORAGE CAPACITY SHALL BE 55 GALLONS. HEATER SHALL HAVE A WORKING PRESSURE OF 150 PSIG AND BE EQUIPPED WITH AN EXTRUDED HIGH DENSITY ALUMINUM ANODE ROD. ALL INTERNAL SURFACES OF THE HEATER EXPOSED TO THE WATER SHALL BE GLASS LINED. ELECTRIC HEATING ELEMENTS SHALL BE MEDIUM WATT DENSITY ZINC PLATED WITH A COPPER SHEATH. 240 VOLT, 1 PHASE. ELEMENTS SHALL BE CONTROLLED BY AND INDIVIDUALLY MOUNTED THERMOSTAT AND INDIVIDUAL TEMPERATURE CUT-OFF SWITCHES. THE OUTER JACKET SHALL BE OF BAKED ENAMEL FINISH WITH A HINGED FRONT ACCESS PANEL OVER FOAM INSULATION OVER ELECTRICAL JUNCTION BOX WITH A HEAVY DUTY TERMINAL BLOCK SHALL BE PROVIDED. PROVIDE WITH AN ASME RATED TEMPERATURE AND PRESSURE RELIEF VALVE. WATER HEATER BASED ON 40 SMITH PROLINE ENT-55.

THERMAL EXPANSION TANK

AMTROL ST-5 ASME SERIES WITH STEEL SHELL, RIGID POLYPROPYLENE LINER AND HEAVY DUTY RUBBER DIAPHRAGM. LINER AND DIAPHRAGM MECHANICALLY BONDED TO SHELL TO FORM A SEPARATE AIR CHAMBER AND NON-CORROSIVE WATER RESERVOIR. AIR CHAMBER PRE-CHARGED TO 50 PSIG, AND PROVIDED WITH A STANDARD AIR VALVE. FITTING, TANKS TO BE ASME LISTED/APPROVED. SEE WATER HEATER DIAGRAM ON THIS SHEET FOR RATINGS AND CAPACITIES.

WB-1: WASHER BOX (VALVE & DRAIN)

PROVIDE A GUY GRAY MANUFACTURING FIRE RATED WALL OUTLET BOX. MODEL FR125SHA CLOTHES WASHER WATER HOOK-UP WALL BOX WITH TWO 1/4-TURN SHUT OFF VALVES AND WATER HAMMER ARRESTERS. 1/2" CONNECTIONS. VALVES COMPLY WITH ASME A112.18.1. WATER HAMMER ARRESTERS COMPLY WITH ASME 1010. PVC RESIN WALL BOX WITH FLANGE AND OPEN FRONT. MOUNT AT 42" ABOVE THE FLOOR TO BOX BOTTOM.



EXHAUST FAN SCHEDULE

TAG	USAGE	TYPE	CFM	S.P. IN. W.C.	DRIVE	RPM	HP/ WATTS	BHP REQ'D	VOLTS/ PHASE	WEIGHT (LB)	CONTROLS	MAX. SOUND RATING	BASIS OF DESIGN	BRAND MODEL	DAMPER DRIVE	REMARKS
EF-1	UNIT RESTROOM	CENT.	60	0.5	DIRECT	950	55 W	---	115/1	16	CONTROLLER SWITCH	1.1 SONES	BRON	MODEL 750	●	1 2 3

- 1 ENERGY STAR LABELED 2 FAN/LIGHT COMBINATION WITH LED BULB 3 PROVIDE TIMER TO KEEP FAN RUNNING 15 MINUTES (ADJUSTABLE) AFTER FAN SWITCH IS TURNED OFF.

MECHANICAL ABBREVIATIONS

AB.	ABOVE	HTR.	HEATER
A.D.	ACCESS DOOR	INV. ELEV.	INVERT ELEVATION
A.F.F.	ABOVE FINISHED FLOOR	J.R.	JANITOR RECEPTOR
BTM.	BOTTOM	LAV.	LAVATORY
BLDG.	BUILDING	MAN. DPR.	MANUAL DAMPER
CLG.	CEILING	MECH.	MECHANICAL
CONC.	CONCRETE	M. A.	MIXED AIR
C.O.	CUT-OFF	O.A.	OUTSIDE AIR
CONN.	CONNECT	P.B.G.	PUMPING
CONTR.	CONTRACTOR	REG.	REGISTER
DTL.	DETAIL	REQD.	REQUIRED
DIFF.	DIFFUSER	R.A.	RETURN AIR
DN.	DOWN	RM.	ROOM
ELEC.	ELECTRICAL	S.A.	SUPPLY AIR
EXH.	EXHAUST	SHT.MTL.	SHEET METAL
EXST.	EXISTING	S.S.	SERVICE SINK
E.W.C.	ELECTRIC WATER COOLER	TYP.	TYPICAL
FLEX.	FLEXIBLE	T.C.C.	TEMP. CONTROL CONTRACTOR
FLR.	FLOOR	URNAL.	URNAL
F.D.	FLOOR DRAIN	V.T.R.	VENT THRU ROOF
FURN.	FURNISH	VB. ISOL.	VIBRATION ISOLATION
G.C.	GENERAL CONTRACTOR	W/	WITH
H.B.	HOSE BIBB	W.C.	WATER CLOSET

MECHANICAL LEGEND

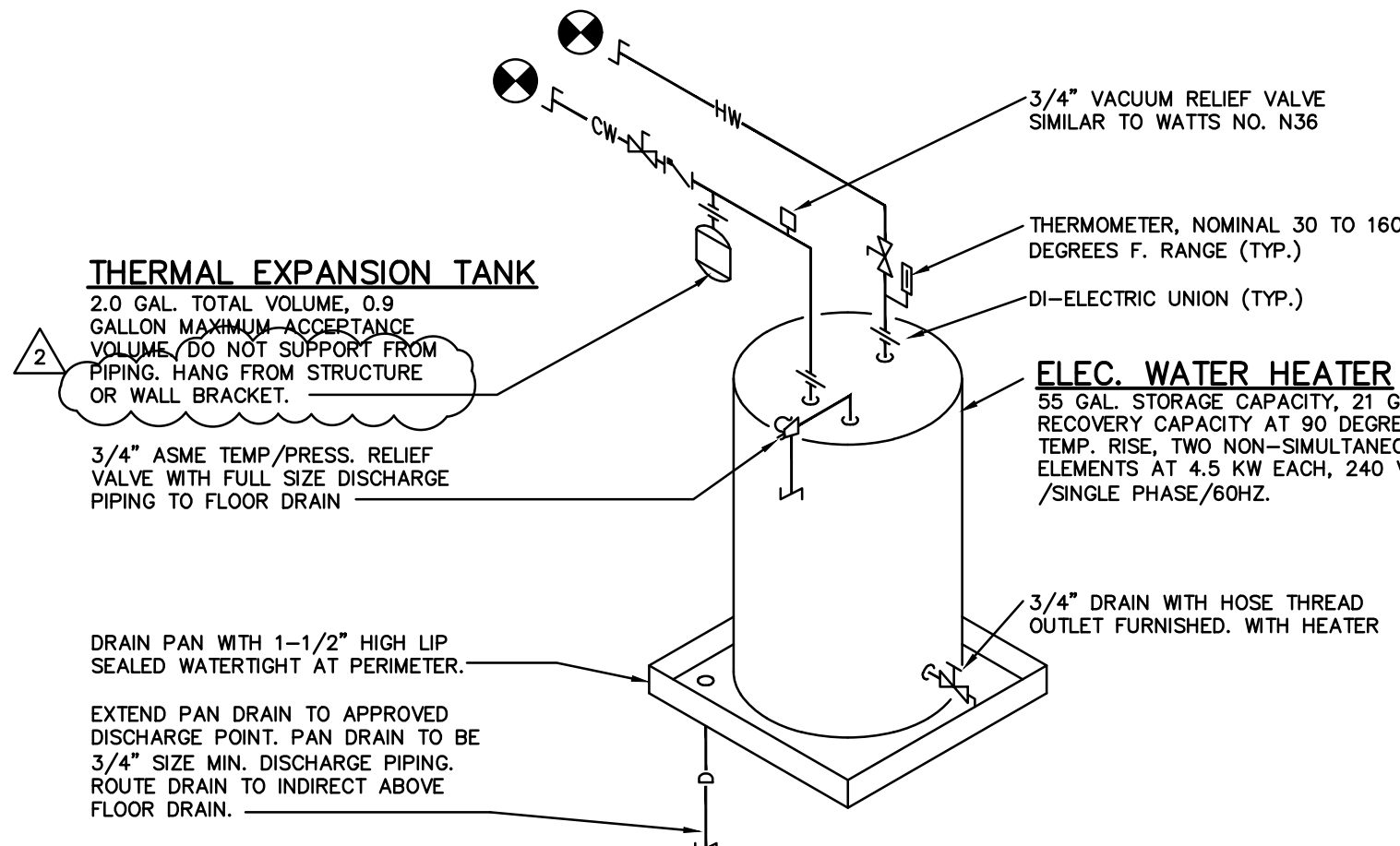
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
— CW —	DOMESTIC COLD WATER LINE	— P —	PIPE UNION
— CWR —	CHILLED WATER RETURN	— T —	T-Y TYPE STRAINER
— CWS —	CHILLED WATER SUPPLY	— CB —	COMB. BALANCE & STOP VALVE
— D —	DRAIN LINE	— G —	GATE VALVE (SCREWED BODY)
— G —	GAS LINE	— B —	BALL VALVE
— HG —	HOT GAS LINE	— C —	CHECK VALVE
— HW —	DOMESTIC HOT WATER LINE	— GCO —	GAS COOK OR BALANCE VALVE
— LIQ —	LIQUID LINE	— F —	FLOOR OR AREA DRAIN
— SAN —	SANITARY LINE	— T —	THERMOSTAT
— SUCT —	SUCTION LINE	— C —	CONNECT TO EXISTING
— V —	VENT LINE	— T —	THRU FLOOR AS SHOWN
— P —	PENDANT TYPE SPRINKLER HEAD	— J —	JANITOR OR SHOWER TRIM
— U —	UPRIGHT TYPE SPRINKLER HEAD	— S —	SUPPLY DUCT UP
— P —	P-TRAP (PLAN VIEW)	— S —	SUPPLY DUCT DOWN
— H —	HOSE BIBB	— R —	R.A., O.A., OR EXH. DUCT UP
— E —	EXISTING WORK TO BE REMAIN	— R —	R.A., O.A., OR EXH. DUCT DOWN
— R —	REMOVING WORK TO BE REMOVED	— B —	ROUND DUCT
— H —	HEATING WATER RETURN	— B —	ELBOW WITH TURNING VANES
— H —	HEATING WATER SUPPLY	— M —	MAN DAMPER
— P —	PIPE FLANGES	— S —	SPRINKLER FITTING WITH MANUAL BALANCE DAMPER
— B —	45° BENT BRANCH TAKEOFF		

PLUMBING FIXTURE SCHEDULE

PLUMBING FIXTURE NOTES:

- UNLESS INDICATED OTHERWISE, THE ARCHITECT SHALL SELECT THE FIXTURE COLOR/FINISH FROM THE MANUFACTURER'S FULL RANGE OF STANDARD OPTIONS.
- UNLESS INDICATED OTHERWISE, ALL EXPOSED METALLIC COMPONENTS TO BE FURNISHED WITH POLISHED CHROME FINISH, INCLUDING FAUCETS, TRAPS, STOPS, PIPING, ETC.
- UNLESS INDICATED OTHERWISE, ALL EXPOSED PIPING SHALL BE FURNISHED WITH POLISHED CHROME FINISH BRASS ESCUTCHEONS AT ALL WALL/CABINET PENETRATIONS AND FIXTURE CONNECTIONS.
- ALL PLUMBING FIXTURES MUST BE WATERSENSE LABELED.

FIXTURE	MANUFACTURER	*ALL PLUMBING FIXTURES MUST BE WATERSENSE-LABELED.*	PIPE SIZE CW / HW	FIXTURE	MANUFACTURER	REMARKS	PIPE SIZE
S-1	STERLING PEERLESS DEARBORN BRASS McGUIRE IN-SINK-ERATOR	FIXTURE: DOUBLE COMPARTMENT; STERLING # 14707-A. 22"x33" 21 GAUGE STAINLESS STEEL 4 HOLE DOUBLE BOWL 7" DEEP CONTROLS: PEERLESS P115LF CHROME PLATED SINGLE METAL HANDLE KITCHEN FAUCET WITH 8" SPOUT REACH AND 5.1" SPOUT HEIGHT. PROVIDE (1.5 GPM) AERATOR. AERATOR TO BE VANDAL RESISTANT. DRAIN: DEARBORN BRASS MODEL NO.14 BASKET STRAINER TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. STOP(S): McGUIRE MODEL 2165 1/2" LAVATORY SUPPLIES W/ WHEEL HANDLE BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED DISPOSER: IN-SINK-ERATOR MODEL NO. BADGER 5 (1/2 HP, 120V/1PH) PROVIDE W/CORD AND PLUG. REPLACE AT ALL UNITS.	1/2" 1/2"	SH-1 ADA ACCESS COMPLIANT	FREEDOM SYMMONS, ZURN	ENCLOSURE: ADA CODE COMPLIANT SHOWER "FREEDOM" ADA ROLL-IN SHOWER MODEL APPXTE823LDCOLL OVERALL DIMENSIONS OF 66" X 32.125" X 78.75". INTERIOR DIMENSION OF 60" X 30". THIS IS A 1 PIECE UNIT FOR NEW CONSTRUCTION. INSTALLATION. UNIT SHALL HAVE A 0.5" BARRIER FREE. CHANGE OF LEVEL. THRESHOLD WITH PRE-LEVELLED AND REINFORCED SHOWER BASE WITH A CENTER FRONT LOCATED INTEGRAL LINEAR DRAIN. UNIT SHALL BE ACRYLIC CONSTRUCTED WITH TEXTURED SLIP-RESISTANT FLOOR. 1" MOLDED SOAP/FOOT LEDGE. FINISHED SURFACE SHALL BE OF A SANITARY GRADE SOLID SURFACE. UNIT SHALL HAVE A SMOOTH FINISH ON THE WALLS. DO NOT PROVIDE ANY BRICK PATTERNS. PROVIDE THE UNIT IN THE COLOR WHITE. UNIT CONSTRUCTION SHALL BE OF A FIBERGLASS AND RESIN REINFORCED ACRYLIC. PROVIDE A STEEL REINFORCEMENT ROD IN THE THRESHOLD. METAL CONDUIT AROUND PERIMETER OF EACH PANEL. WOOD BACKING ON ALL WALLS WHICH ENABLE THE SUPPORT REQUIREMENTS FOR ANY ACCESSORIES TO BE MOUNTED ANYWHERE. PROVIDE W/ INTEGRAL SEAT. UNIT SHALL MEET ANSI Z124.2, HUD, ADA, MAS, TAS, CSA, AND THE OMO PLUMBING CODE. UNIT SHALL HAVE AN OPEN TOP, SMOOTH WALL FINISH, SLIP RESISTANT BOTTOM. PROVIDE FACTORY INSTALLED CODE COMPLIANT STAINLESS STEEL GRAB BARS, (1) 48" ON REAR AND TWO 24" ON SIDES. INTERIOR THRESHOLD HEIGHT OF 3/4". PROVIDE 3/4" VINYL FLEXIBLE WATER DAM, LOCATE DRAIN IN CENTER FRONT OF UNIT. 18 GA. STAINLESS STEEL CURTAIN ROD WITH RECEIVER CUPS, TRI CELL BACKING, EASY BASE WITH SELF SUSTAINING BOTTOM. INSTALL UNIT PER MANUFACTURER'S RECOMMENDATIONS. THIS CONTRACTOR TO COORDINATE THE LOCATION OF THE SHOWER CONTROLS/DRAIN RELATIVE TO SHOWER WITH LIVING UNIT ORIENTATION. THIS CONTRACTOR TO COORDINATE WITH STRUCTURAL CONTRACTOR THE INSTALLATION OF UNIT TO ENSURE THE 3/4" INTERIOR THRESHOLD IS MAINTAINED PROPERLY. MOUNT ALL SHOWER CONTROLS ON THE WALL AT ELEVATION AND LOCATION AS DESIGNATED BY THE ARCHITECTURAL DRAWINGS. COLOR TO BE WHITE. PROVIDE STAINLESS STEEL ADA COMPLIANT BREAK-AWAY SHOWER CURTAIN ROD. UNIT TO BE PROVIDED WITH A 30 YEAR LIMITED WARRANTY. CONTROLS: SYMMONS TEMPTRLO SHOWER SYSTEM. SYSTEM TO INCLUDE A MIXING VALVE, SLIDE BAR, HOSE ELBOW, VINYL HANDLE, HAND HELD SHOWER. MODEL NUMBER C-165-300-830-V-X-1-5-CHKS-WP-LEVER HANDLE. CHROME FINISH. INTEGRAL STOPS WITH CHECK VALVES. PRESSURE BALANCING MIXING VALVE WITH LEVER HANDLE, BUILT-IN CHECK AND ADJUSTABLE STOP SCREW TO LIMIT HANDLE TURN. WALL/HAND SHOWER WITH 60 INCH FLEXIBLE METAL HOSE. IN-LINE VACUUM BREAKER, WALL CONNECTION FLANGE. 30" SLIDE BAR FOR HAND SHOWER MOUNTING. 1.5 GPM SHOWER HEAD. VANDAL RESISTANT ESCUTCHEON SCREWS. PROVIDE CHROME BRASS ESCUTCHEON ON VALVE. UNIT SHALL MEET ANSI A112.18.1M, EPA 92. INSTALL PER MANUFACTURERS RECOMMENDATIONS. SET TEMPERATURE LIMIT STOP TO PERMIT A MAXIMUM OF 120° F. DELIVERY WATER TEMPERATURE. FIXTURE ASSEMBLY TO COMPLY WITH HANDICAP ACCESS REQUIREMENTS.	1/2" 1/2"
S-2	STERLING PEERLESS DEARBORN BRASS McGUIRE IN-SINK-ERATOR	FIXTURE: DOUBLE COMPARTMENT; STERLING # 14633-A. 22"x33" 21 GAUGE STAINLESS STEEL 4 HOLE DOUBLE BOWL 6" DEEP CONTROLS: PEERLESS P115LF CHROME PLATED SINGLE METAL HANDLE KITCHEN FAUCET WITH 8" SPOUT REACH AND 5.1" SPOUT HEIGHT. PROVIDE (1.5 GPM) AERATOR. AERATOR TO BE VANDAL RESISTANT. DRAIN: DEARBORN BRASS MODEL NO.14 BASKET STRAINER TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. STOP(S): McGUIRE MODEL 2165 1/2" LAVATORY SUPPLIES W/ WHEEL HANDLE BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED DISPOSER: IN-SINK-ERATOR MODEL NO. BADGER 5 (1/2 HP, 120V/1PH) PROVIDE W/CORD AND PLUG. (UNIT PRICE ONLY FOR DISPOSER) COVER: McGUIRE PRO-WRAP SERIES FOR EXPOSED SUPPLY, DRAIN PIPING AND GARBAGE DISPOSAL. PROVIDE WITH ADA WRAP.	1/2" 1/2"				
LAV-1	CUSTOM CAST PEERLESS DEARBORN McGUIRE	FIXTURE: CUSTOM CAST MARBLEWORKS STANDARD CULTURED MARBLE VANTY TOP WITH INTEGRAL 22"x22" SINK BOWL AND INTEGRAL BACKSPASH, OR AS NOTED OTHERWISE. CONTROLS: PEERLESS P136LF-M-0.5, CHROME PLATED, CENTERSET LAVATORY FAUCET WITH METAL POP-UP DRAIN. SINGLE LEVER METAL HANDLE. PROVIDE 1/2 GALLON PER MINUTE (0.5 GPM) AERATOR. "WATERSENSE" CERTIFIED. TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. PROVIDE INCREASER WASHER FROM 1-1/4" TAILPIECE TO 1-1/2" INLET OF P-TRAP. STOP(S): McGUIRE MODEL 2165LK 1/2" LAVATORY SUPPLIES W/ LOOSE KEY BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED.	1/2" 1/2"				
LAV-2	MANFIELD DELTA DEARBORN McGUIRE ZURN	FIXTURE: MANFIELD WALL HUNG. MODEL NO. 2018H-MS-4 DELTA MODEL 850LF. LAVATORY FAUCET. CHROME PLATED BRASS BODY, 4" CENTERSET WITH SINGLE LEVER HANDLE, LEAD-FREE, AND METAL POP-UP DRAIN INCLUDED. 1.5 GPM AERATOR. "WATERSENSE" CERTIFIED. DEARBORN BRASS MODEL P9704 1-1/2" P-TRAP TRAP: McGUIRE MODEL 2165LK 1/2" LAVATORY SUPPLIES W/ LOOSE KEY BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED COVER: LAY GUARD UNDERSINK PIPE COVERS MODEL #102 WHITE CARRIER. ZURN SERIES 1231, CONCEALED FLOOR AND STUD-BRACED CARRIER. PATCH AND REPAIR DRYWALL.	1/2" 1/2"				
BT-1	PEERLESS	SHOWER HEAD: PEERLESS MODEL #P101770-1.5 SHOWER HEAD SINGLE FUNCTION LOW-FLOW 1.5 GPM MAXIMUM WATER AMPLYFING SHOWER HEAD. "WATERSENSE" CERTIFIED. UNIT TO BE ALL METAL CONSTRUCTION, BRASS SWIVEL BALL ASSEMBLY, CHROME FINISH, AND HAVE VANDAL RESISTANT SET SCREWS. UNIT SHALL MEET ASME A112.18.1 REQUIREMENTS. UNIT SHALL HAVE A 5 YEAR WARRANTY. CAULKING: PROVIDE PERIMETER CONTINUOUS CAULKING AND CONTINUOUS CAULKING AT ALL PANEL TO PANEL AND TRIM PIECE TO PANEL ARE REQUIRED AS PART OF BASE BID.	1/2" 1/2"				



EWH-1: ELECTRIC WATER HEATER DIAGRAM

ALTERNATE #

S-1	STERLING PEERLESS DEARBORN BRASS McGUIRE IN-SINK-ERATOR	FIXTURE: DOUBLE COMPARTMENT; STERLING # 14636. 22"x33" 20 GAUGE STAINLESS STEEL UNDERMOUNT DOUBLE BOWL 8-1/16" DEEP CONTROLS: PEERLESS P115LF CHROME PLATED SINGLE METAL HANDLE KITCHEN FAUCET WITH 8" SPOUT REACH AND 5.1" SPOUT HEIGHT. PROVIDE (1.5 GPM) AERATOR. AERATOR TO BE VANDAL RESISTANT. DRAIN: DEARBORN BRASS MODEL NO.14 BASKET STRAINER TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. STOP(S): McGUIRE MODEL 2165 1/2" LAVATORY SUPPLIES W/ WHEEL HANDLE BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED DISPOSER: IN-SINK-ERATOR MODEL NO. BADGER 5 (1/2 HP, 120V/1PH) PROVIDE W/CORD AND PLUG. REPLACE AT ALL UNITS.	1/2" 1/2"				
S-2	STERLING PEERLESS DEARBORN BRASS McGUIRE IN-SINK-ERATOR	FIXTURE: DOUBLE COMPARTMENT; STERLING # 32021. 32"x18-5/16" 18 GAUGE STAINLESS STEEL UNDERMOUNT DOUBLE BOWL 5-3/16" DEEP CONTROLS: PEERLESS P115LF CHROME PLATED SINGLE METAL HANDLE KITCHEN FAUCET WITH 8" SPOUT REACH AND 5.1" SPOUT HEIGHT. PROVIDE (1.5 GPM) AERATOR. AERATOR TO BE VANDAL RESISTANT. DRAIN: DEARBORN BRASS MODEL NO.14 BASKET STRAINER TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. STOP(S): McGUIRE MODEL 2165 1/2" LAVATORY SUPPLIES W/ WHEEL HANDLE BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED DISPOSER: IN-SINK-ERATOR MODEL NO. BADGER 5 (1/2 HP, 120V/1PH) PROVIDE W/CORD AND PLUG. (UNIT PRICE ONLY FOR DISPOSER) COVER: McGUIRE PRO-WRAP SERIES FOR EXPOSED SUPPLY, DRAIN PIPING AND GARBAGE DISPOSAL. PROVIDE WITH ADA WRAP.	1/2" 1/2"				
LAV-1	STERLING PEERLESS DEARBORN McGUIRE	FIXTURE: STERLING WESTCOTT 17" OVAL UNDERMOUNT BATHROOM SINK WITH CENTER DRAIN AND OVERFLOW. VITREOUS CHINA CONTROLS: PEERLESS P136LF-M-0.5, CHROME PLATED, CENTERSET LAVATORY FAUCET WITH METAL POP-UP DRAIN. SINGLE LEVER METAL HANDLE. PROVIDE 1/2 GALLON PER MINUTE (0.5 GPM) AERATOR. "WATERSENSE" CERTIFIED. TRAP: DEARBORN BRASS MODEL P9704 1-1/2" PVC P-TRAP. PROVIDE INCREASER WASHER FROM 1-1/4" TAILPIECE TO 1-1/2" INLET OF P-TRAP. STOP(S): McGUIRE MODEL 2165LK 1/2" LAVATORY SUPPLIES W/ LOOSE KEY BRASS ANGLE STOPS & COPPER FLEX TUBE RISERS. ALL CHROME PLATED.	1/2" 1/2"				

H900-18138-MEADOWS.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road
Dublin, Ohio 43016
DESIGNED BY: E. EVANS, P.E.
DRAWN BY: CML
CHECKED BY:
JOB NUM: 18138-MEADOWS

(614) 766 4896
FAX: (614) 766 2354

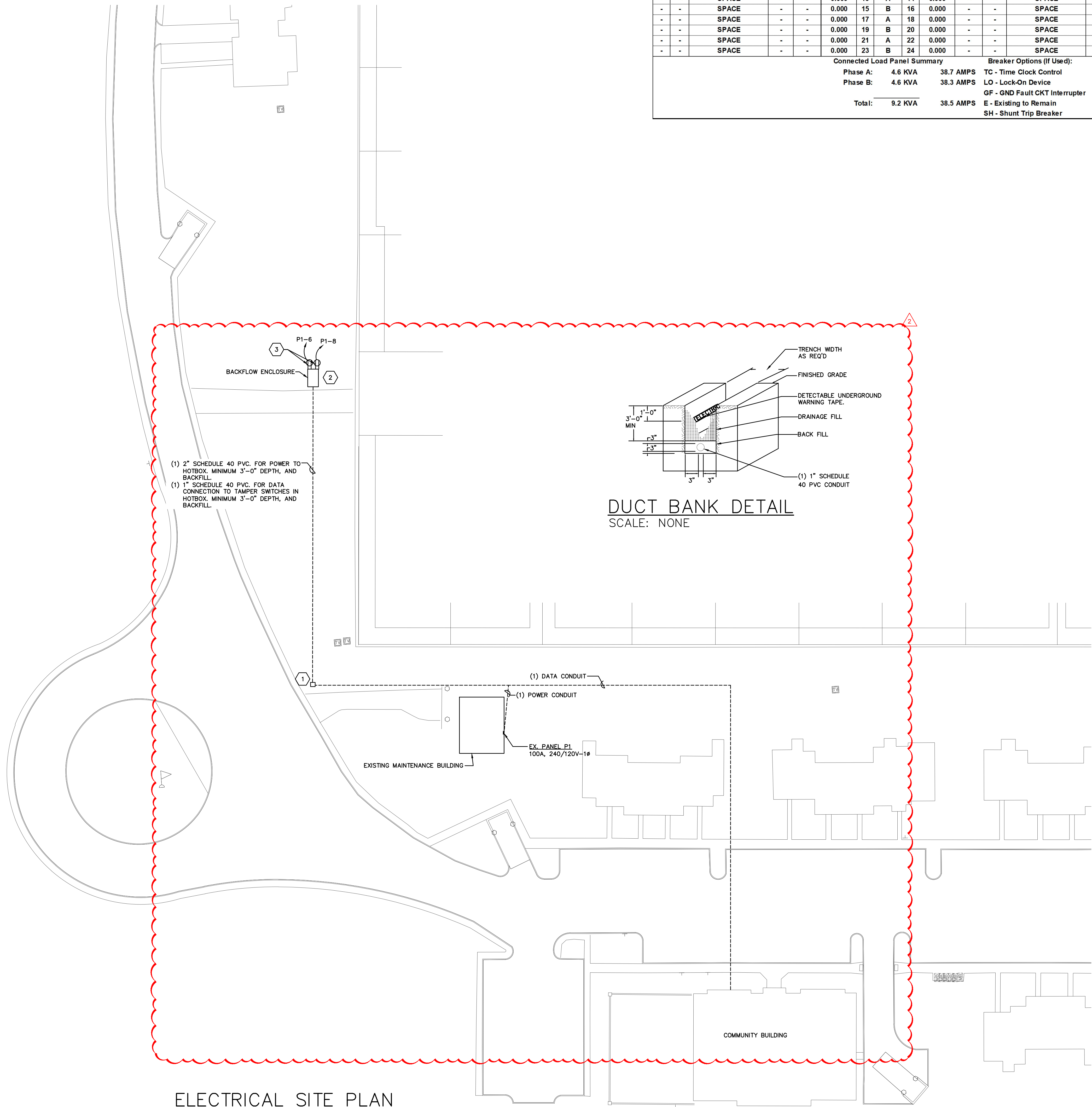
#	DATE	CHANGE DESCRIPTION
2	9/11/25	ADDENDUM #2

THE MEADOWS RAD RENOVATIONS
COLUMBUS METROPOLITAN HOUSING AUTHORITY
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

HVAC SCHEDULES AND DETAILS

08/14/2025
DRAWN BY: PEA
CHECKED BY: PEA
18076.04
H900
BID / PERMIT SET



ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"

Panel ID: P1			Voltage: 240 / 120			Panel Type: EXISTING						
Location: MAINT. BLDG			Phase: 1			Enclosure: EXISTING						
Mounting: SURFACE			Wire: 3									
Main Type: MCB			Main Size: 100 Amps									
Note: Unless the CKT BKR OPTION is E (Existing to Remain), the existing circuit breaker shall be replaced with the new one that is shown.												
Minimum breaker AIC to match existing.												
All circuit breakers shall be standard bolt-on type, unless noted otherwise.												
== Refer to one line diagram for wire sizes.												
GND/WIRE SIZE	BRANCH CIRCUIT DESCRIPTION	CKT BKR SIZE	CKT BKR OPTION	CONN. LOAD (KVA)	CKT NO.	PHASE	CKT NO.	CONN. LOAD (KVA)	CKT BKR SIZE	CKT BKR OPTION	BRANCH CIRCUIT DESCRIPTION	WIRE/GND SIZE
E	EX. REC	20/1	E,GF	0.360	1	A	2	0.200	E	20/1	EX. LTG	E
E	EX. REC	20/1	E,GF	0.360	3	B	4	0.200	E	20/1	EX. LTG	E
E	EX. REC	20/1	E,GF	0.180	5	A	6	1.900	E	20/1	HOTBOX HEATER	4
E	EX. REC	20/1	E,GF	0.540	7	B	8	1.500	E	20/1	HOTBOX HEATER	4
E	EX. UNIT HEATER	30/2	E	2.000	9	A	10	0.000	E	20/1	SPARE	-
-	-	-	-	2.000	11	B	12	0.000	E	20/1	SPARE	-
-	SPACE	-	-	0.000	13	A	14	0.000	-	-	SPACE	-
-	SPACE	-	-	0.000	15	B	16	0.000	-	-	SPACE	-
-	SPACE	-	-	0.000	17	A	18	0.000	-	-	SPACE	-
-	SPACE	-	-	0.000	19	B	20	0.000	-	-	SPACE	-
-	SPACE	-	-	0.000	21	A	22	0.000	-	-	SPACE	-
-	SPACE	-	-	0.000	23	B	24	0.000	-	-	SPACE	-
Connected Load Panel Summary						Breaker Options (If Used):						
Phase A: 4.6 KVA			38.7 AMPS			TC - Time Clock Control						
Phase B: 4.6 KVA			38.3 AMPS			LO - Lock-On Device						
						GF - GND Fault CKT Interrupter						
Total: 9.2 KVA			38.5 AMPS			E - Existing to Remain						
						SH - Shunt Trip Breaker						

GENERAL NOTES

- COORDINATE WITH ALL UTILITY COMPANIES DURING THE BIDDING PHASE. THE ELECTRICAL SITE PLAN IS DIAGRAMMATIC ONLY AND REPRESENTS GENERAL LOCATIONS OF EQUIPMENT AND UTILITY SPECIFICATIONS. COORDINATE WITH THE SEPARATE UTILITY COMPANIES TO REQUEST DETAILED SPECIFICATIONS AND EQUIPMENT SIZES.
- THE ELECTRICAL SITE PLAN DOES NOT SHOW ALL THE EXISTING UTILITIES OR EXISTING UNDERGROUND EQUIPMENT. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH ALL TRADES, EXISTING CONDITIONS, LOCATE ALL UNDERGROUND SERVICES AND CLEARLY INDICATE LOCATIONS PRIOR TO THE START OF EXCAVATING. ELECTRICAL CONTRACTOR SHALL ROUTE NEW UNDERGROUND ABOVE OR BELOW EXISTING UTILITIES AND EQUIPMENT AS ALLOWED PER N.E.C. REQUIREMENTS.

CODED NOTES

- PROVIDE IN GROUND ELECTRICAL PULLBOX EQUAL TO HUBBELL QUAZITE PG SERIES. SIZE PER NEC 314. PULLBOX SHALL HAVE HEAVY DUTY COVER WITH STAMPED LOGO "POWER". COORDINATE PULLBOX LOCATION WITH CIVIL PRIOR TO POURING IN.
- PROVIDE 120V CONNECTION TO (2) TAMPER SWITCHES INSIDE BACKFLOW ENCLOSURE. COORDINATE CONNECTION LOCATION WITH WATER SERVICE PLAN. CONNECT TO EXISTING FIRE ALARM CONTROL PANEL IN COMMUNITY BUILDING, SEE SHEET E103 FOR LOCATION.
- PROVIDE GFI RECEPTACLE ON INTERIOR OF ENCLOSURE FOR HEATER.

LINE TYPE LEGEND

- LINE TYPE INDICATES NEW ELECTRICAL EQUIPMENT/DEVICES TO BE PROVIDED
- LINE TYPE INDICATES BELOW FLOOR ELECTRICAL WIRING

#	DATE	CHANGE DESCRIPTION
2	9/11/25	ADDENDUM #2

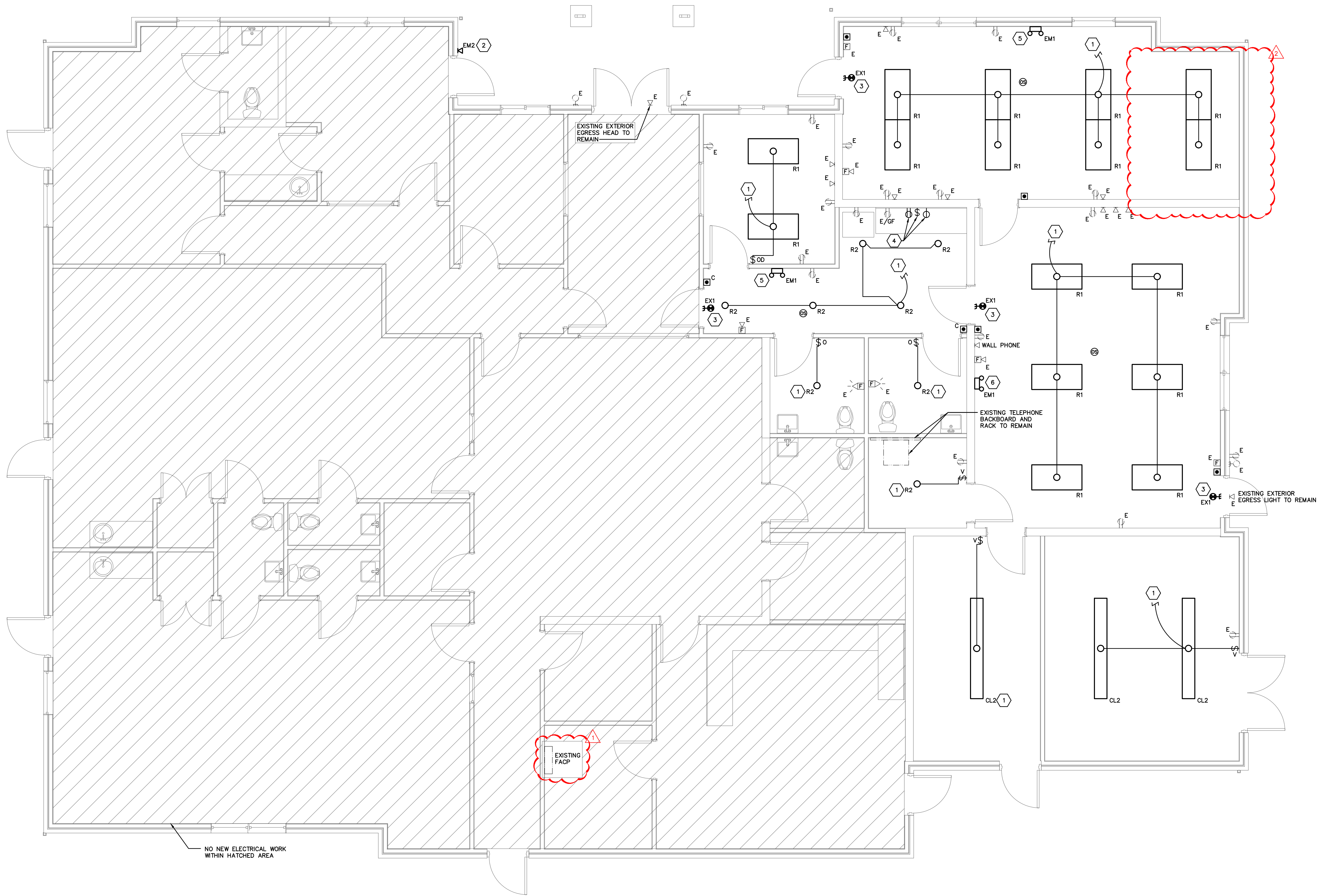
THE MEADOWS RAD RENOVATIONS
4855 PINEAL CREEK DRIVE
COLUMBUS, OH 43110
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
800 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

ELECTRICAL SITE PLAN

08/14/2025	
DRAWN BY: PEA	CHECKED BY: PEA
18076.04	
E100	
BID / PERMIT SET	

E100-18138-MEADOWS.DWG
PRATER Engineering Associates, Inc.
6130 Wilcox Road
Dublin, Ohio 43015
(614) 766 4896
FAX: (614) 766 2354
DESIGNED BY: NJORTMAN
DRAWN BY: NJORTMAN
CHECKED BY: D.POWELL, P.E.
JOB NO.: 18138-MEADOWS



COMMUNITY CENTER
ELECTRICAL PLAN
SCALE: 1/4"=1'-0"

E103-18138-MEADOWS.DWG

PRATER
Engineering Associates, Inc.

6130 Wilcox Road
Dublin, Ohio 43016

(614) 766 4896
FAX: (614) 766 2354

DESIGNED BY: N.ZORTMAN
DRAWN BY: N.ZORTMAN
CHECKED BY: D.POWELL, P.E.
JOB NUM: 18138-MEADOWS

LINE TYPE LEGEND

----- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO BE DEMOLISHED.

----- LINETYPE INDICATES EXISTING ELECTRICAL EQUIPMENT/DEVICE TO REMAIN.

----- LINETYPE INDICATES NEW DEVICE/ EQUIPMENT TO BEINSTALLED.

GENERAL NOTES

A. ALL ELECTRICAL EQUIPMENT, WIRING DEVICES, LIGHTING FIXTURES, ETC. SHOWN ON THIS PLAN IN THIN LINES WITH A SUBSCRIPT "E" ARE EXISTING TO REMAIN AND SHOWN FOR REFERENCE ONLY.

B. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING CONDUCTOR TYPES. IF EXISTING WIRING IS ALUMINUM CONDUCTOR, PROVIDE ALUMINUM TO COPPER SPADE CRIMP CONNECTORS AS NECESSARY.

CODED NOTES

1. EXTEND TO ROOM LIGHTING CIRCUIT MAINTAIN AND PROTECTED FROM DEMOLITION PHASE. MINIMUM WIRE SIZE SHALL BE 2-#12 AND 1-#12 GROUND IN 1/2" CONDUIT OR MC CABLE.

2. PROVIDE NEW EMERGENCY EGRESS LIGHTING FIXTURE WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.

3. PROVIDE NEW EXIT SIGN WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.

4. PROVIDE NEW GROUND FAULT RECEPTACLE, CONTROL SWITCH, AND DISPOSER GROUND FAULT RECEPTACLE - EXTEND EXISTING CIRCUITRY TO THE NEW LOCATION. COORDINATE FINAL LOCATION OF WIRING DEVICES WITH OWNER PRIOR TO ROUGH-IN.

5. PROVIDE NEW EMERGENCY EGRESS LIGHTING FIXTURE WITHIN EXISTING OUTLET BOX - EXTEND EXISTING BRANCH CIRCUIT TO THE NEW DEVICE.

6. WIRE EMERGENCY FIXTURE TO LOCAL LIGHTING CIRCUIT AHEAD OF LIGHTING CONTROL TO MONITOR LOCAL LIGHTING FOR LOSS OF UTILITY POWER. FIXTURE TO FULLY ILLUMINATE UPON THE LOSS OF UTILITY POWER.

#	DATE	CHANGE DESCRIPTION
2	9/11/25	ADDENDUM #2

THE MEADOWS RAD RENOVATIONS
4855 PINTAL CREEK DRIVE
COLUMBUS, OH 43110
FOR
COLUMBUS METROPOLITAN HOUSING AUTHORITY

Moody Nolan
800 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881
CERTIFICATE NO: FIRM 00197475

DRAWING TITLE:
COMMUNITY CENTER ELECTRICAL PLANS

08/14/2025

DRAWN BY: PEA
CHECKED BY: PEA

18076.04

E103

BID / PERMIT SET

SECTION C — BIDDING DOCUMENTS

CMHA MEADOWS — RAD RENOVATIONS —

BID DATE & TIME
Tuesday, September 30, 2025 @ 11:00 A.M.

NOTE TO CONTRACTORS

- 1) **PLEASE READ THOROUGHLY.**
- 2) **BID FORMS 1 THRU 9 MUST BE SUBMITTED IN YOUR BID PACKAGE.**
- 3) **CONTRACTOR MUST USE CMHA BID FORMS INCLUDED IN THIS PACKAGE.**
- 4) **ALL FORMS MUST BE COMPLETELY FILLED, SIGNED/NOTARIZED AS NEEDED.**
- 5) **PLEASE SUBMIT 1 ORIGINAL AND 1 COPY.**
- 6) **ALL PAGES MUST BE PUT IN ORDER.**
- 7) **ALL PAGES MUST BE STAPLED OR BOUND OR PUT IN A 3-RING BINDER.**

- Contract will be awarded to the **BEST** bidder submitting the **LOWEST** bid.
- Please refer to Section B, Part III, Page B-14, and Checklists Section B, Part IV, A, B, C & D, Page B-17 to B-21.
- **NOTE TO ALL CONTRACTORS**
Contract award is contingent on Columbus Metropolitan Housing Authority Board of Commissioners' approval.

SECTION C — BIDDING DOCUMENTS

PROJECT & BIDDER INFORMATION

ALL CONTRACTORS MUST COMPLETE AS NOTED

PROJECT INFORMATION

Project Name: _____

Project Address: _____

Project Scope of Work: _____

Bid Date & Time: _____

Bid Location: _____

BIDDER INFORMATION

Company Name: _____

Address: _____

Authorized Representative's Name: _____

Tel. #: _____ Fax #: _____

Email: _____

Company is (check all that apply) ☐ MBE ☐ Section 3 ☐ WBE

SECTION C – BIDDING DOCUMENTS

BID FORM No. 1 – Addendum

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

- All contractors must record and acknowledge receipt of all Addenda issued for this project.
- Insert copy of all Addenda after this page. **(COVER PAGES ONLY)**

ADDENDUM TITLE	DATE OF ADDENDUM	NUMBER OF PAGES
1. _____	_____	_____
2. _____	_____	_____
3. _____	_____	_____
4. _____	_____	_____
5. _____	_____	_____
6. _____	_____	_____
7. _____	_____	_____
8. _____	_____	_____
9. _____	_____	_____
10. _____	_____	_____

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 2 – Bid Form

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

1. The undersigned, having familiarized themselves with the local conditions affecting the cost of the work, and with the Plans and Specifications (including Invitation for Bids, Instructions to Bidders, this Bid Form, the form of Bid Bond, the form of Non-Collusive Affidavit, the form of Contract, and the form of Payment and Performance Bond or Bonds, the General Conditions, the Special Conditions, the General Scope of Work, the Technical Specifications and the Drawings) and Addenda, if any thereto as prepared by the Columbus Metropolitan Housing Authority and on file in the office of the same, hereby proposes to furnish all material, equipment, and perform all labor and services required to construct and complete the work.

- A. CONTRACTOR BASE BID:** Bidder will complete the Work in accordance with the Contract Documents for the following price(s):

Total Material, for the sum	_____	Dollars.....	(\$ _____)
Total Labor, for the sum	_____	Dollars.....	(\$ _____)
Playground Area Allowance – will include new poured surface, expanded playground equipment, and new trash receptacle to match existing playground benches, final location to be coordinated with owner	_____	Dollars.....	(\$ <u>\$60,000.00</u>)
Permit Allowance	_____	Dollars.....	(\$ <u>\$25,000.00</u>)
TOTAL BASE BID AMOUNT	_____		(\$ _____)
	(use words)		(figures)

- B. UNIT PRICE**

UNIT PRICE #1: Gypsum Board Patching. Provide areas requiring replacement to include damaged areas and as required for new.

- a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating gypsum wall board as required for new.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Square foot.
- d. Specification Reference: Section 09 29 00.
- e. Quantity of Work – Base 32 SF/Unit.

UNIT PRICE <u>per Square Foot</u>	_____	(\$ _____)	(figures)
	(use words)		

UNIT PRICE #2: New Sub-Flooring. Provide at new flooring areas as required for new installation.

- a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating sub-floor.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Square foot.
- d. Specification Reference: Section 06 10 00.

UNIT PRICE per Square Foot _____ (\$ _____)
(use words) (figures)

UNIT PRICE #3: New Underlayment. Provide at new flooring areas as required for new installation.

- a. Description: Cost includes removal of loose, broken delaminated, water damaged and deteriorating underlayment.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Square foot.
- d. Specification Reference: Section 06 10 00.

UNIT PRICE per Square Foot _____ (\$ _____)
(use words) (figures)

UNIT PRICE #4: New Interior Doors. Provide at new locations as required for new doors (assume 36" x 80"). Provide new wood casing and frames.

- a. Description: Cost includes removal of damaged and deteriorating doors.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Each.
- d. Specification Reference: Section 08 19 00.
- e. Quantity of Work – Base Bid: 95 doors.

UNIT PRICE per Each Door _____ (\$ _____)
(use words) (figures)

UNIT PRICE #5: New Steel Doors at Exterior Storage Rooms. Provide at new locations as required for new doors.

- a. Description: Cost includes removal of damaged and deteriorating doors. Existing frame to remain.
- b. Unit Cost: Include material and labor.
- c. Unit of Measure: Each.
- d. Specification Reference: Section 08 16 13.
- e. Quantity of Work – Base Bid: 20 doors.

UNIT PRICE per Each Door _____ (\$ _____)
(use words) (figures)

B. ALTERNATES:

ALT #1: Quartz counter tops in lieu of PLAM counter tops. At all kitchens, provide 3 cm quartz countertops as specified. Where quartz countertops are provided, provide tile back splash from top of counter to bottom of cabinet for entire length of countertop. Provide undermount sinks at these locations. At all bathrooms, provide 2 cm quartz countertops and drop-in vitreous sinks

- a. Base bid – PLAM countertops with drop-in sinks at kitchens. Bathroom vanity tops to be Rynone/cultured marble – white.
- b. Refer to drawings and specs for additional information.

LUMP SUM ALT. PRICE: _____ (**(use words)**) (\$ _____) (**(figures)**)

ALT #2: Replace existing roofs with asphalt shingle roofing system. At all buildings, remove existing asphalt shingle roofs and replace them with new. Provide new flashing, fascia, gutters etc.

- a. Base bid – Maintain existing shingle system. Modify shingles as necessary for installation of new flues or other devices for new systems being installed in units.
- b. Refer to drawings and specs for additional information.

LUMP SUM ALT. PRICE: _____ (**(use words)**) (\$ _____) (**(figures)**)

2. In submitting the bid, the bidder understands that the Columbus Metropolitan Housing Authority reserves the right to reject any and all bids. If written notice of the acceptance of this bid is mailed or delivered to the undersigned within sixty 60 days after the opening of this bid or at any time thereafter before this bid is withdrawn, the undersigned agrees to execute and deliver a contract in the prescribed form and furnish the required bond within ten (10) days after the contract is presented to him/her signed and approved by the Contracting Officer.

3. A bid bond is submitted with this bid in accordance with the specification requirements in the sum of _____ **DOLLARS** (\$ _____)

AMOUNT OF BID BOND IN US DOLLARS

The undersigned also agrees to execute and deliver the required Performance and Payment Bond within 10 days after an approved and executed contract by Columbus Metropolitan Housing Authority is mailed to him/her.

4. Attached hereto is an affidavit in proof that the undersigned have not entered into any collusion with any person in respect to his proposal or any other proposal or the submission of proposals for the contract for which this proposal is submitted.

5. In reference to the Equal Opportunity and Non-Segregated Facilities present in Section B— paragraph 8 the undersigned represents that he/she _____

HAS / HAS NOT

participated in a previous contract or subcontract subject to the Equal Opportunity Clause prescribed by Executive Orders 10925, 11114, or 11246 or the Secretary of Labor; that he/she _____ filled all required compliance reports, and that

HAS / HAS NOT

representations indicating the submission of required compliance reports, signed by proposed subcontractors, will be obtained prior to subcontract awards. (The above representation need not be submitted in connection with contracts or subcontracts, which are exempt from the clause.)

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 3 – Non-Collusive Affidavit Form

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

DATE: _____

STATE OF: _____
COUNTY OF: _____ } ss.

_____, being first duly sworn, deposes and says
Name

That s/he is _____ the party making certain proposal, quote or bid, that such proposal, quote or bid is genuine and not collusive or sham; that said bidder has not colluded, conspired, connived or agreed, directly or indirectly, with any bidder or person, to putting in a sham quote or bid or to refrain from quoting or bidding, and has not in any manner, directly or indirectly, sought by agreement or collusion, or communication or conference, with any person, to fix the quote or bid price or affiant or any other bidder, or to fix any overhead, profit or cost element of said quote or bid price, or of that of any other bidder, or to secure advantage against the **COLUMBUS METROPOLITAN HOUSING AUTHORITY** or any person interested in the proposed contract; and that all statements in said proposal, quote or bid are true.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 4 – Bid Bond

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

- **5% OF THE BID AMOUNT MUST BE SUBMITTED BY ALL BIDDERS**
- **CONTRACTOR MUST USE THIS FORM**
- **BID BOND AMOUNT MUST BE SPELLED OUT**

KNOW ALL MEN BY THESE PRESENTS, that we the undersigned

NAME OF PRINCIPAL

NAME OF SURETY / ADDRESS OF SURETY — STREET / CITY / STATE / ZIP

as **SURETY** are held and firmly bound unto **COLUMBUS METROPOLITAN HOUSING AUTHORITY**, hereinafter called the "*Local Authority*" in the penal

sum of \$ _____ (_____ **DOLLARS**)
5% OF TOTAL BID

lawful money of the United States, for payment of which sum well and truly to be made, we bind ourselves our heirs, executors, administrators' successors and assigns jointly and severally, firmly by these presents.

THE CONDITION OF THE OBLIGATION IS SUCH, that whereas the Principal has submitted the accompanying bid, dated, _____
for _____
PROJECT NAME AND ADDRESS

NOW, THEREFORE, if the Principal shall not withdraw said bid within the period specified therein after the opening of the same, or, if no period specified, within sixty 60 days after the said opening, and shall within the period specified therefore, or, if no period be specified within ten 10 days after the prescribed forms are presented to him for signature, enter into a written contract with the Local Authority in accordance with the bid accepted, and give bond with good and sufficient surety or sureties, as may be required, for the faithful performance and proper fulfillment of such contract; or in the event of the withdrawal of said bid within the period specified, or the failure to enter into such contract and give such bond within the time specified, then the Principal shall forfeit this bid bond as liquidated damages, and shall pay the Local Authority the difference between the amount specified in the said bid and the amount for which the Local Authority may procure the required work or supplies or both, if the latter amount be in excess of the former, then the above obligations shall be void and of no effect, otherwise to remain in full force and virtue.

IN WITNESS WHEREOF, the above-bounden parties have executed this instrument under their seals this _____ day of _____. 20____ the name and corporate seal of each corporate party being hereto affixed, and these presents duly signed by its undersigned representative pursuant to authority of its governing body.

IN PRESENCE OF:

ATTEST	CORPORATE PRINCIPAL/SEAL – PRINT AND SIGN SIGNATURE _____ NAME _____
ATTEST	BUSINESS ADDRESS — STREET / CITY / STATE / ZIP _____ _____ _____
ATTEST	SURETY /SEAL—PRINT AND SIGN SIGNATURE _____ NAME _____
ATTEST	BUSINESS ADDRESS — STREET / CITY / STATE / ZIP _____ _____ _____
SURETY PHONE No. _____	SURETY FAX No. _____

**POWER- OF- ATTORNEY FOR PERSON SIGNING FOR
SURETY COMPANY MUST BE ATTACHED TO BOND
CERTIFICATE AS TO CORPORATE SURETY**

I, _____, certify that I am the _____ of the corporation named as surety in the within bond; that _____ who signed the bond on behalf of the surety was the _____ of said corporation; that I know his/her signature, and his/her signature thereto is genuine; and that said bond was duly signed, sealed, and attested to for and on behalf of said corporation by authority of its governing body.

(CORPORATE SEAL)

MBE AND SECTION 3 CERTIFICATION FORMS

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5 – MBE and Section 3 Participation

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All bidders shall set forth information requested on Forms No. 5, 5A, 5B, 5C, 5D and 5E specifically itemizing:

- all minority and female business enterprises and Section 3 businesses committed to work on the project.
- a description of services or supplies for each minority and female business enterprise and Section 3 business.
- the total dollar value of the contract intended.
- estimates for new employment and training opportunities.

The above-named company recognizes and commits to the following CMHA requirements:

- 20 percent of the total dollar amount of the contract is awarded to minority business enterprises.
- best efforts made to award contracts and subcontracts to Section 3 businesses.
- best efforts made to provide employment and training opportunities generated by the project to Section 3 workers.
- 25 percent or more of the total number of labor hours worked by all workers are worked by Section 3 workers.
- 5 percent or more of the total number of labor hours worked by all workers are worked by Targeted Section 3 workers.

The above-named company certifies and commits to the following:

Total Base Bid Amount Entered on Bid Form No. 2

\$

Total Contract Value of Committed MBEs

\$

MBE Participation Percentage

%

Total Contract Value of Committed Section 3 Businesses

\$

Section 3 Business Participation Percentage

%

Total Estimated New Employment and Training Opportunities
Entered on Bid Form No. 5D

Total Number of Section 3 Workers Committed to Hire

BID FORM No. 5 – MBE and Section 3 Business Participation cont'd

If no minority business enterprises and/or Section 3 businesses are included in this bid package, state “no participation” on this form. Complete Bid Form No. 5B explaining why minority business enterprises and/or Section 3 businesses (contractors and suppliers) are not being engaged.

If the percentages of the total contract values of committed minority business enterprises and/or Section 3 businesses reported on this form are less than the required CMHA goals, complete Bid Form No. 5B and 5C indicating why greater participation is not possible or feasible.

Bidders must show Good Faith Efforts demonstrating outreach to minority business enterprises and Section 3 businesses (contractors and suppliers) on Bid Form No. 5C and as indicated in the Good Faith Efforts detailed in the bid package requirements.

Bidders should include information about the participation of female business enterprises although these businesses are not considered in the CMHA numerical participation goal.

Bidders must ensure that all minority business enterprises and Section 3 businesses (contractors and suppliers) engaged on this project are certified by one of the CMHA approved certifying agencies. Bidders shall submit proof of certification. A business included in this bid package that is not certified will result in the CMHA not considering the business as part of the total minority business enterprise or Section 3 business participation requirements.

Bidders must document the total estimate of new employment and/or training opportunities identified by **all contractors (all contractors regardless of MBE or Section 3 status) included in the bid response** on Bid Form No. 5D.

Bidders must have **all contractors (all contractors regardless of MBE or Section 3 status) included in the bid response** complete Bid Form No. 5E communicating estimates for new employment and/or training opportunities arising as a result of the project's scope of work.

The undersigned will:

- enter into a legal agreement with the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in the bid package conditioned upon execution of a contract with CMHA.
- demonstrate binding commitments with the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in the bid package within fourteen (14) working days after receiving an approved contract from CMHA.
- ensure and provide proof of certification of the minority business enterprises and/or Section 3 businesses (contractors and suppliers) included in this bid package.
- provide first consideration for new employment and training opportunities included in the bid package and any that are generated post contract award to Section 3 residents according to the project's priority order.
- contact CMHA if changes are required prior to review and approval.

THE UNDERSIGNED HEREBY CERTIFIES THAT THE TERMS OF THIS COMMITMENT HAVE BEEN READ AND IS AUTHORIZED TO BIND THE BIDDER TO THE COMMITMENTS HEREIN SET FORTH.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Company Name \$ _____

Address _____ % of Bid

Contact Person Telephone Number MBE _____

WBE _____

Scope of Work Sec3 _____

Company Name \$ _____

Address _____ % of Bid

Contact Person Telephone Number MBE _____

WBE _____

Scope of Work Sec3 _____

Company Name \$ _____

Address _____ % of Bid

Contact Person Telephone Number MBE _____

WBE _____

Scope of Work Sec3 _____

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment cont'd

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

BID FORM No. 5A – MBE and Section 3 Subcontractor/Supplier Utilization Commitment cont'd

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

_____	\$ _____
Company Name	
_____	_____ % of Bid
Address	
_____	MBE _____
Contact Person	Telephone Number
_____	WBE _____
Scope of Work	Sec3 _____

Use additional sheets as necessary to document all minority business enterprises and Section 3 businesses committed and included in the bid response.

Total Contract Value of Committed MBEs

\$ _____

MBE Participation Percentage

%

Total Contract Value of Committed Section 3 Businesses

\$ _____

Section 3 Business Participation Percentage

%

Bidders shall submit certification for all minority business enterprises and Section 3 businesses committed and included on this form.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

_____	_____
Authorized Representative's Signature	Date
_____	_____
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5B – MBE and Section 3 Business Commitment Statement

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Efforts were made to reach minority business enterprises and Section 3 businesses (contractors and suppliers). The above-named company is unable to meet CMHA's required business participation goals prior to the time of this bid response submittal.

The above-named company certifies and commits to the following participation percentages

Total Base Bid Amount Entered on Bid Form No. 2

\$

Total Contract Value of Committed MBEs

\$

MBE Participation Percentage

%

Total Contract Value of Committed Section 3 Businesses

\$

Section 3 Business Participation Percentage

%

The above-named company is unable to meet CMHA's minority business enterprise and/or Section 3 business participation requirements for this project due to the following reason(s):

_____ No MBE and/or Section 3 contractor(s) are/were available for work included in the RFP.

_____ No MBE and/or Section 3 supplier(s) have supplies needed for work included in the RFP.

_____ The MBE and/or Section 3 business contractor(s) and/or supplier(s) contacted quoted price(s) beyond acceptable. Documentation provided.

_____ Other: _____

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Bidders are required to list all certified minority business enterprises and Section 3 businesses contacted demonstrating Good Faith Efforts to engage such businesses.

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts cont'd

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

BID FORM No. 5C – MBE and Section 3 Business Outreach Good Faith Efforts cont'd

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

MBE_____ Section 3_____

Subcontractor/Supplier Name and Address	Contact Name and Telephone Number
Contact Date(s)	Type of Work/Materials
Reason(s) for Not Accepting	Price Quoted

Use additional sheets as necessary to document all minority business enterprises and Section 3 businesses contacted for inclusion the bid response.

CMHA reserves the right to contact each contractor or supplier included on this form for verification.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

CONTRACTOR MBE GOOD FAITH EFFORT ATTACHMENTS

**CONTRACTOR TO ATTACH ALL DOCUMENTS
SUBMITTED TO SUPPORT THEIR MBE
“GOOD FAITH EFFORTS”
AFTER THIS PAGE**

NOTE

- 1) REFER TO PROPOSED “GOOD FAITH EFFORT”
EXAMPLES.**
- 2) PLEASE TITLE ALL DOCUMENTS SUBMITTED AS
NEEDED FOR CLARIFICATION.**

PROPOSED
“GOOD FAITH EFFORT” EXAMPLES &
POSSIBLE ATTACHMENTS

MBE “Good Faith Effort” Examples

1. Contractor made effort to contact MBE firms, Bid Form #5C.
(All MBEs listed were verified) ☐
2. Contractor advertised for MBE in local, and minority newspaper.
(Ads attached) ☐
3. Contractor contacted/used MBE placement and recruiting offices.
(Documentation attached) ☐
4. Contractor requested in writing for MBE firm(s) for quotes on
different portions of work. ☐
(Documentation attached)
5. Contractor discusses portions of work with MBE contacted.
(Documentation attached) ☐
6. Contractor accepted/negotiated in good faith with MBE quote.
(Documentation attached) ☐

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5D – Section 3 Workforce Commitment Statement

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Bidders are required to document the project's total estimates for new employment and training opportunities identified by all contractors. Section 3 workers should have first preference for openings.

The above-named company certifies and commits to the following Section 3 workforce participation percentage:

**Total Estimated New Employment and Training Opportunities
Calculated from Submitted Bid Forms No. 5E**

--

Work Classifications	Estimated New Positions

Total Number of Section 3 Residents Committed to Hire

--

Section 3 Workforce Participation Percentage

	%
--	---

Bidders must include completed Bid Form No. 5E from all contractors included in this bid response communicating estimates for new employment and/or training opportunities arising as a result of the project's scope of work.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Signature	Date
Print Name	Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 5E – Section 3 Workforce Commitment Statement for Contractors

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All contractors included in the bid response recognize and commit to the following Section 3 workforce requirements:

- **best efforts made to provide employment and training opportunities generated by the project to Section 3 workers.**
- **25 percent or more of the total number of labor hours worked by all workers are worked by Section 3 workers.**
- **5 percent or more of the total number of labor hours worked by all workers are worked by Targeted Section 3 workers.**

This form should be completed by all contractors included in the bid response to communicate estimates for new employment and/or training opportunities arising as a result of the project's scope of work.

- Provide the complete list of work classifications/job titles required for the scope of work.
- Of the work classifications/job titles required for the scope of work, provide the number of workers currently employed to fulfill the scope. *How many workers are currently employed to handle this scope of work will work on this project?*
- Of the work classifications/job titles needed for the scope of work, provide the number of individuals that must be hired to fulfill the scope. *How many individuals will need to be hired to handle this scope of work?*

If no number is provided under the "# Must Hire" column, the contractor is communicating that the company has a full team to complete the scope of work and will not need to hire new workers. Should this information change during the duration of the project, the contractor is required to communicate changes to the general contractor and provide hiring preference to Section 3 workers.

Work Classification/Job Title	# Required for the Scope	# Currently Employed	# Must Hire

Use additional sheets as necessary to document all work classifications/job titles needed to fulfill the scope of work.

BID FORM No. 5E – Section 3 Workforce Commitment Statement for Contractors cont’d

The above-named company certifies and commits to the following Section 3 workforce participation percentage:

Total Estimated New Employment and Training Opportunities	
Total Number of Section 3 Residents Committed to Hire	
Section 3 Workforce Participation Percentage	%

NOTE: To confirm the project’s compliance performance against Section 3 goals, all workers working on the project will be asked to provide information to determine status as a Section 3 worker and a Targeted Section 3 worker.

I certify and affirm to the best of my knowledge that the information contained here within is true and accurate.

Signature	Date
Print Name	Title

SECTION C – BIDDING DOCUMENTS

CMHA Section 3 Clause

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

All CMHA Section 3 covered contracts shall include the following clause to comply with Section 3 requirements.

- A. Authority. The work to be performed under this contract is subject to the requirements of Section 3 of the Housing and Urban Development Act of 1968, as amended, 12 U.S.C. 1701u (Section 3) and 24 CFR Part 75. The purpose of Section 3 is to ensure that employment and other economic opportunities generated by HUD assistance or HUD-assisted projects covered by Section 3, shall, to the greatest extent feasible, be directed to low- and very low-income persons, particularly persons who are recipients of HUD assistance for housing.
- B. Contracting, Contract Certification and Compliance. The parties to this contract agree to comply with HUD's regulations in 24 CFR part 75, which implements section 3. As evidenced by their execution of this contract, the parties to this contract certify that they are under no contractual or other impediment that would prevent them from complying with part 75 regulations. Specifically, contracts must be:
 - (1) Consistent with existing Federal, state, and local laws and regulations, PHAs and other recipients of public housing financial assistance, and their contractors and subcontractors, must make their best efforts to award contracts and subcontracts to business concerns that provide economic opportunities to Section 3 workers.
 - (2) PHAs and other recipients, and their contractors and subcontractors, must make their best efforts in the following order of priority:
 - (a) To Section 3 business concerns that provide economic opportunities for residents of the public housing projects for which assistance is provided;
 - (b) To Section 3 business concerns that provide economic opportunities for residents of other public housing projects or Section-8 assisted housing managed by the PHA that is providing the assistance;
 - (c) To YouthBuild programs; and
 - (d) To Section 3 business concerns that provide economic opportunities to Section 3 workers residing within the metropolitan area (or non-metropolitan county) in which assistance is provided.
- C. Notice. The contractor agrees to send to each labor organization or representative of workers with which the contractor has a collective bargaining agreement or other understanding, if any, a notice advising the labor organization or workers' representative of the contractor's commitments under this Section 3 Clause and will post copies of the notice in conspicuous places at the work site where both employees and applicants for training and employment positions can see the notice. The notice shall describe the Section 3 preference, shall set forth minimum number and job titles subject to hire, availability of apprenticeship and training positions, the qualifications for each, and the name and location of the person(s) taking applications for each of the positions; and the anticipated date the work shall begin.

- D. Subcontracts. The contractor agrees to include this Section 3 Clause in every subcontract subject to compliance with regulations in 24 CFR Part 75 and agrees to take appropriate action, as provided in an applicable provision of the subcontract or in this Section 3 Clause upon finding that the subcontractor is in violation of the regulations in 24 CFR Part 75. The contractor will not subcontract with any subcontractor where the contractor has notice or knowledge that the subcontractor has been found in violation of the regulations in 24 CFR Part 75.
- E. Employment and Training Opportunities. The contractor will certify that any vacant employment positions, including training positions, which are filled: after the contractor is selected but before the contract is executed, and with persons other than those to whom the regulations of 24 CFR Part 75 require employment opportunities to be directed, were not filled to circumvent the contractor's obligations under 24 CFR Part 75.

Specifically, the contract shall be consistent with existing Federal, State, and local laws and regulations. PHAs or other recipients receiving public housing financial assistance, as well as their contractors and subcontractors, must make their best efforts to provide employment and training opportunities generated by the public housing financial assistance to Section 3 workers. These best efforts must apply to the Section 3 workers in the following order of priority:

- (1) To residents of the public housing projects for which the public housing financial assistance is expended;
 - (2) To residents of other public housing projects managed by the PHA that is providing the assistance or for residents of Section 8-assisted housing managed by the PHA;
 - (3) To participants in YouthBuild programs; and
 - (4) To low- and very low-income persons residing within the metropolitan area (or non-metropolitan county) in which assistance is expended
- F. Noncompliance with HUD's regulations in 24 CFR Part 75 may result in sanctions, termination of this contract for default, and debarment or suspension from future HUD assisted contracts.

SECTION C – BIDDING DOCUMENTS

BID FORM No. 6 – Bidder's Qualifications

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

NOTE: USE ADDITIONAL SHEETS IF NEEDED

The Bidder is required to complete Bid Form No. 7: Bidder Qualifications Questionnaire (6 pages) and attach his/her reference on Form No. 7A of what work of a character similar and compatible to that included in the proposed contract he/she has done, to give references and such other detailed information as will enable the Columbus Metropolitan Housing Authority to judge his/her responsibility, experience, skill, and financial standing.

A. Names of Principal Shareholder/s or Parent Company and percentage of ownership:

%

%

%

%

B. Check One:

Corporation ☐

Joint Venture ☐

Limited Liability ☐

Partnership ☐

Individual ☐

Date Established _____

- C. Has any principal shareholder or owner (30% ownership or more) been involved, as owner, employee, or agent, **in any other business** entity engaged in the construction industry within the past 5 years? ☐ Yes ☐ No

If so, provide the following information:

1. Name of each business entity _____

2. Description of involvement (*e.g., title and duties*) _____

3. Dates of involvement _____

- D. Has your organization ever operated under another name? ☐ Yes ☐ No

1. If so, what name? _____
2. Describe the relationship to the present firm: _____

2. BIDDER'S BACKGROUND INFORMATION

- A. Number of years in business _____
- B. Number of employees at present _____
- C. Geographical area served _____

- D. **Safety Record** — Has your organization been inspected by OSHA within the past 2 years? ☐ Yes ☐ No

1. If so, provide the following information for **EACH INSPECTION** on a separate sheet:
 - A. Project inspected
 - B. Dates of inspection
 - C. Citations issued (number of specifics)
 - D. Penalties paid (not proposed)

2. Attach copies of your OSHA 200 Annual Summary of injuries and illness logs for the preceding 3 years.
3. Has any employee or agent of your organization died or been seriously injured (i.e., requiring in patient hospitalization) due to a workplace accident in the last 2 years?
☐ Yes ☐ No

If yes provide details: _____

4. To put your safety record in perspective, what was the total amount of employee workdays (*not including office / non-field construction employees*) last year?

Number of construction employees _____

Total number of hours of construction employees _____

- E. Has your organization or its agents defaulted on any construction project within the last 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- F. Has your organization or its agents had a construction contract terminated, or been asked to leave a construction project, within the last 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- G. Has your organization or its agents been issued a Stop Work Order on any project within the past 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- H. Are you now, or have you been in the past, a party to any litigation or arbitration proceedings arising out of your performance of a construction contract? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- I. Has your organization been assessed any liquidated damages arising from any construction activities in the past 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- J. Has your organization been found not responsive? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- K. Has your organization been cited for any violation of any state or federal prevailing wage requirements in the past 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- L. Has your organization or any of its employees, agents, or affiliates, ever been disbarred or declared ineligible for any government contracts? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- M. Has your organization or any of its employees, agents or affiliates ever been cited and/or issued any violations by any regulatory agency with respect to your construction activities within the last 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- N. Is your organization, or any of its employees, agents, or affiliates currently under investigation or audit, or involved in any proceedings involving a regulatory agency with respect to your construction activities? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- O. Have any mechanics' liens or bond claims been filed by you, or your subcontractors, suppliers, employees, or materialmen, on any projects on which you have worked in the last 2 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

3. FINANCIAL INFORMATION

- A. Identify the Surety Company that will provide your payment and performance bond/s:

Surety Name	
Surety Address	
Surety Phone No.	Surety Fax No.
Contact Person	Bonding Limits \$

- B. Source of Letter of Credit *(if applicable)*:

Credit Limits: _____

- C. Have any claims been made against your bonding company, as obligator on a bond issued on your behalf, in the past 3 years? ☐ Yes ☐ No

If yes, provide details on separate sheet of paper and attach to this section.

- D. List bank reference/s, stating the name/s of the bank officer, address, and telephone number:

BANK NAME	REFERENCE	TELEPHONE No.
1.		
2.		
3.		
4.		
5.		

- E. List any outstanding liens (*include project name, date, and reason*): _____
- _____
- _____
- _____

- F. Is your company any of the following?

1. Minority Business Enterprise (MBE) ☐ Yes ☐ No
2. Female Business Enterprise (WBE) ☐ Yes ☐ No

4. IMPORTANT NOTICE

The foregoing information must be truthfully, completely, and fully provided. Failure to do so may result, at the owner's discretion, in declaring the bidder's bid non-responsive and therefore not considered. Any falsification, misrepresentation, or untrue response to any of the foregoing shall also be, at the discretion of the owner, cause for the immediate termination of any contract entered into between the owner and the bidder.

If any additional space is necessary to completely answer any of the foregoing, provide all relevant details on a separate, attached sheet. Describe the circumstances, referencing the project, provide the names of involved persons and agencies, and state the results of the incidents in questions. Additional information of facts may be required by the Owner prior to the award of any contract.

This statement, along with any attached sheets, is to be signed by an officer of the bidder organization and notarized. Execution of this form constitutes a representation of the truth and accuracy of all of the statements and answers made in conjunction herewith.

State of _____

County of _____

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

Subscribed and sworn to before me this _____ day of _____, 20_____

NOTARY SIGNATURE AND SEAL

SECTION C – BIDDING DOCUMENTS

BID FORM No. 7 – Previous Similar Project References

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

SIMILAR/COMPATIBLE CONSTRUCTION PROJECTS COMPLETED IN THE LAST 5 YEARS

SIMILAR/COMPATIBLE PROJECT NAME / LOCATION	CONTACT PERSON NAME & TEL. #	CONTRACT AMOUNT	PROJECT DATES	
			START	COMPLETION
1.				
2.				
3.				
4.				

NOTE: USE ADDITIONAL SHEETS IF NEEDED

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 8 – Financial Statement / Contractor Forms

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

The bidder is to provide the most recent audited financial statement, audited if available including contractors latest balance sheet and income statement (*see “Instructions and Information for Bidders”*).

- Submit with this form, the following:
 - 1) Certificate of Insurance
 - 2) Bureau of Workers’ Compensation Certificate
 - 3) Contractor License in project

Bidders are to indicate if items listed below are enclosed.

1. Financial Statement: ☐ Yes ☐ No

2. Financial Statement will be submitted if the bidder is the lowest bid. ☐ Yes

If #2 is selected:

Submit Financial Statement within three (3) working days after the Bid Opening if you are the lowest bidder.

Authorized Representative’s Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative’s Title

SECTION C – BIDDING DOCUMENTS

BID FORM No. 9 – Certification for Drug Free Workplace

Project Name	CMHA Meadows
Scope of Work	RAD Renovations
Bid Date & Time	Tuesday, September 30, 2025 @ 11:00 a.m. – (available via Zoom)
Company Name	

Program/Activity Receiving Federal Contract Funding

1. Acting on behalf of the above-named Contractor as its Authorized Official, I make the following certifications and agreements to the Columbus Metropolitan Housing Authority (CMHA) regarding the sites listed below:

I certify that the above-named Contractor will or will continue to provide a drug-free workplace by:

a. Publishing a statement notifying employees that the unlawful manufacture, distribution, dispensing, possession, or use of a controlled substance is prohibited in the Contractor's workplace and specifying the actions that will be taken against employees for violation of such prohibition.

b. Establishing an on-going drug-free awareness program to inform employees --

- (1) The dangers of drug abuse in the workplace;
- (2) The Contractor's policy of maintaining a drug-free workplace
- (3) Any available drug counseling, rehabilitation, and employee assistance programs; and
- (4) The penalties that may be imposed upon employees for drug violations occurring in the workplace.

c. Making it a requirement that each employee to be engaged in the performance of the contract be given a copy of the statement required by paragraph a.

d. Notifying the employee in the statement required by paragraph a. that, as a condition of employment under the contract, the employee will --

- (1) Abide by the terms of the statement; and
- (2) Notify the employer in writing of his or her conviction for a violation of a criminal drug statute occurring in the workplace no later than five calendar days after such conviction;

e. Notifying the agency in writing, within ten calendar days after receiving notice under subparagraph d.(2) from an employee or otherwise receiving actual notice of such conviction. Employers of convicted employees must provide notice, including position title, to every contract officer or other designee on whose contract activity the convicted employee was working, unless the Federal agency has designated a central point for the receipt of such notices. Notice shall include the identification number(s) of each affected contract;

(1) Taking appropriate personnel action against such an employee, up to and including termination, consistent with the requirements of the Rehabilitation Act of 1973, as amended; or

(2) Requiring such employee to participate satisfactorily in a drug abuse assistance or rehabilitation program approved for such purposes by a Federal, State, or local health, law enforcement, or other appropriate agency;

f. Making a good faith effort to continue to maintain a drug-free workplace through implementation of paragraphs a. thru f.

2. Sites for Work Performance. The Contractor shall list (on separate pages) the site(s) for the performance of work done in connection with the CMHA funding of the program/activity shown above: Place of Performance shall include the street address, city, county, State, and zip code. Identify each sheet with the Contractor name and address and the program/activity receiving contract funding.)

Check here ¹ if there are workplaces on file that are not identified on the attached sheets.

I hereby certify that all the information stated herein, as well as any information provided in the accompaniment herewith, is true and accurate.

Warning: CMHA will prosecute false claims and statements. Conviction may result in criminal and/or civil penalties.

Authorized Representative's Signature	Date
Print/Type — Authorized Representative Name	Print/Type — Authorized Representative's Title

END OF BIDDING DOCUMENTS

(This sheet should be included as your last page in your bid package)